

# Iowa Site Inventory

Bureau of Historic Preservation  
Iowa State Department of Cultural Affairs  
Capitol Complex  
Des Moines, Iowa 50319

Site Number 040  
District Name \_\_\_\_\_  
Map Reference \_\_\_\_\_

## Identification

1. Site Name MAX DUTCH BUILDING  
2. Village/Town/City AMES Township WASHINGTON County STORY  
3. Street Address 327 MAIN STREET  
4. Legal Location \_\_\_\_\_  
Urban: \_\_\_\_\_ subdivision \_\_\_\_\_ block \_\_\_\_\_ parcel \_\_\_\_\_ subparcel \_\_\_\_\_  
Rural: \_\_\_\_\_ township \_\_\_\_\_ range \_\_\_\_\_ section \_\_\_\_\_ 1/4 section of 1/4 section \_\_\_\_\_  
5. UTM Location: zone \_\_\_\_\_ easting \_\_\_\_\_ northing \_\_\_\_\_; Acreage \_\_\_\_\_  
6. Owner(s) Name \_\_\_\_\_  
7. Owner(s) Address \_\_\_\_\_  
(Street address) (City) (State) (Zip)  
8. Use: Present COMMERCIAL Original COMMERCIAL

## Description

9. Date of Construction: 1928\* Architect/Builder \_\_\_\_\_  
10. Building Type  
 single-family dwelling  industrial  other institutional  religious  
 multiple-family dwelling  education  public  agricultural  
 commercial  
11. Exterior walls:  clapboard  stone  brick  board and batten  shingles  stucco  
 other \_\_\_\_\_  
12. Structural System:  wood frame with interlocking joints  wood frame with light members (balloon frame)  
 masonry load-bearing walls  iron frame  steel frame with curtain walls  reinforced concrete  
 other \_\_\_\_\_  
13. Condition:  excellent  good  fair  deteriorated  
14. Integrity:  original site  moved--if so, when? \_\_\_\_\_  
Notes on alterations, additions (with dates and architect, if known) and any other notable features of building and site:  
\_\_\_\_\_(see next page)  
15. Related Outbuildings and Property:  barn  other farm structures  carriage house  garage  privy  
 other \_\_\_\_\_  
16. Is the building endangered:  no  yes--if so, why? \_\_\_\_\_  
17. Surroundings of the building:  open land  woodland\*  scattered outbuildings  densely built-up  commercial  
 industrial  residential  other \_\_\_\_\_

18. Map

19. Photo looking N Photographer \_\_\_\_\_ Page \_\_\_\_\_



**Significance**

(Indicate sources of information for all statements)

**20. Architectural Significance**

- a. Ames Contributing (Key structure/individually may qualify for the National Register)
- b. Ames Compatible (Contributing structure)
- c. Ames Noncontributing (Not eligible/intrusion)

See continuation sheet.

**21. Historical Significance**

Theme(s) \_\_\_\_\_

- a. Key structure/individually may qualify for the National Register (Ames Contributing)
- b. Contributing structure (Ames Compatible)
- c. Not eligible/intrusion (Ames Non-Contributing)

See continuation sheet.

**22. Sources** (for primary and secondary sources, give complete facts of publication: author, title, place of publication, date, etc.)

\* Shrader, Dorothy H.; "History of Ames Municipal Government;" Typewritten Ms.; 1965. Iowa Room of the Ames Public Library.

Prepared by William C. Page, Public Historian Date Fall 1991  
 Address 104 Southwest Fourth Street Des Moines, IA 50309 Telephone 515/280-8026  
 Organization The Dunbar/Jones Partnership

**For Office of Historic Preservation Use Only**

**1. Office Information Sources on this Property**

- County Resource File \_\_\_\_\_
- Windshield Survey \_\_\_\_\_
- National Register \_\_\_\_\_
- Grants-in-Aid: \_\_\_\_\_
- Determination of Eligibility \_\_\_\_\_

Review and Compliance Project

- Other \_\_\_\_\_
- Other \_\_\_\_\_
- Other \_\_\_\_\_

**2. Subject Traces**

- a. \_\_\_\_\_
- b. \_\_\_\_\_
- c. \_\_\_\_\_
- d. \_\_\_\_\_
- e. \_\_\_\_\_

**3. Photo Images** \_\_\_\_\_

- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_

# Iowa Site Inventory

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Iowa State Department of Cultural Affairs  
Capitol Complex  
Des Moines, Iowa 50319

Site Number 040

## CONTINUATION SHEET

### Significance

#### 20. Architectural Significance

This is a two-story, brick commercial building. Located on two lots, the facade is physically no wider than its neighbor to the east, 323-325 Main Street, but appears to be because of its design. This design features a three-bay facade, non-conforming to standard bay configurations in Ames where the norm is two- or four-bays. The feeling of non-conformity in 327 is further accentuated by a strongly vertical feeling introduced by architectural details on the second floor.

Second floor contains fairly rich Art Deco elements. These include parapets on either side of the building and two placed so as to define the building as having three bays. These parapets are constructed of brick and terminate in cast concrete caps and base supports. The base supports tie into cast concrete window sills. The windows themselves consist of three panels with the lower sections blocked-in. The areas above the windows feature geometric designs worked in cast concrete, brick, and red glazed tile. The storefront has been totally altered with metal windows and door frames. Each side of the storefront is now faced with deep red colored marble slabs. This same material also is used on the bulkheads. The upper portion of the storefront windows is blocked down, and a fixed metal canopy is placed above them. This building is somewhat higher than most two-story buildings in Ames. The feeling of height is further accented by the strongly vertical treatment of the parapets.

The architectural elements on the second floor divide the facade into three bays. This design breaks with the one-room or two-room facade treatments standard in Ames until this time. In breaking these architectural rules, this building follows a national trend in Art Deco architecture. As Longstreth shows in *The Buildings of Main Street*, the horizontal character of a commercial row can, in Art Deco design, be altered to emphasize units.

This building was constructed by Max Duitch in 1928, according to Shrader. The two lots on this site are shown vacant in the 1926 Sanborn map.

This building might contribute to an historic commercial district as a fine example of the commercial style enriched with Art Deco motifs. If the second story windows were unblocked and original material found to be intact, the appearance of this building would be greatly enhanced and its contributing status strengthened.

#### 21. Historical Significance

Theme(s) \_\_\_\_\_

At one time, this building housed the Montgomery Ward company in Ames. As such, the building calls attention to the upbuilding of the central business district in Ames, the fulcrum of which, by the 1920s, had moved westward sufficiently that a national chain store would locate here.

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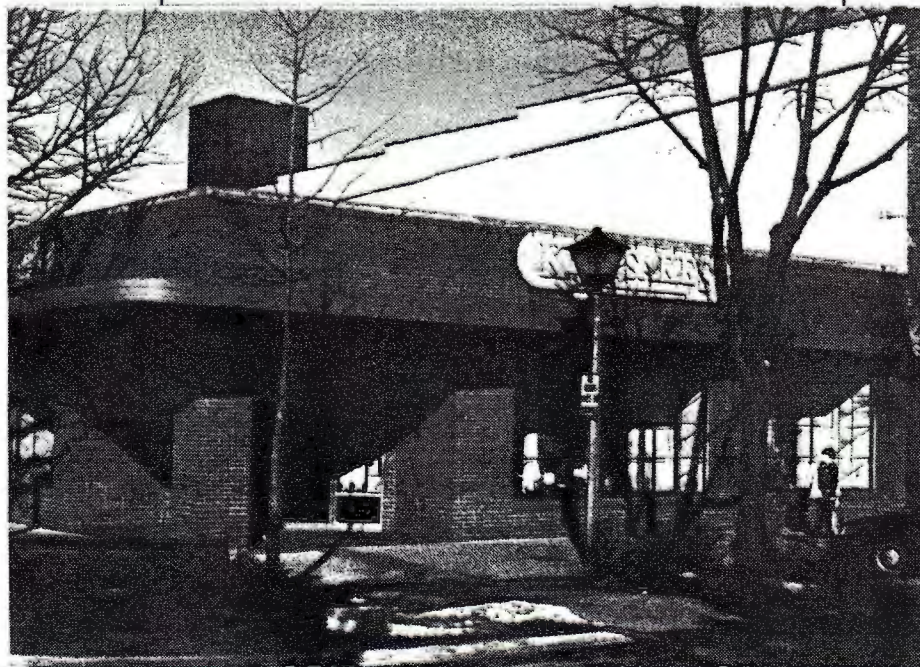
Site Number 041  
District Name \_\_\_\_\_  
Map Reference \_\_\_\_\_

## Identification

1. Site Name COMMERCIAL BUILDING
2. Village/Town/City AMES Township WASHINGTON County STORY
3. Street Address 329 MAIN STREET
4. Legal Location  
Urban: \_\_\_\_\_ subdivision \_\_\_\_\_ block \_\_\_\_\_ parcel \_\_\_\_\_ subparcel \_\_\_\_\_  
Rural: \_\_\_\_\_ township \_\_\_\_\_ range \_\_\_\_\_ section \_\_\_\_\_ 1/4 section of 1/4 section \_\_\_\_\_
5. UTM Location: zone \_\_\_\_\_ easting \_\_\_\_\_ northing \_\_\_\_\_ ; Acreage \_\_\_\_\_
6. Owner(s) Name \_\_\_\_\_
7. Owner(s) Address \_\_\_\_\_  
(Street address) (City) (State) (Zip)
8. Use: Present COMMERCIAL Original COMMERCIAL

## Description

9. Date of Construction: \_\_\_\_\_ Architect/Builder \_\_\_\_\_
10. Building Type  
 single-family dwelling  industrial  other institutional  religious  
 multiple-family dwelling  education  public  agricultural  
 commercial
11. Exterior walls:  clapboard  stone  brick  board and batten  shingles  stucco  
 other \_\_\_\_\_
12. Structural System:  wood frame with interlocking joints  wood frame with light members (balloon frame)  
 masonry load-bearing walls  iron frame  steel frame with curtain walls  reinforced concrete  
 other \_\_\_\_\_
13. Condition:  excellent  good  fair  deteriorated
14. Integrity:  original site  moved--if so, when? \_\_\_\_\_  
Notes on alterations, additions (with dates and architect, if known) and any other notable features of building and site:  
\_\_\_\_\_  
(see next page)
15. Related Outbuildings and Property:  barn  other farm structures  carriage house  garage  privy  
 other \_\_\_\_\_
16. Is the building endangered:  no  yes--if so, why? \_\_\_\_\_
17. Surroundings of the building:  open land  woodland  scattered outbuildings  densely built-up  commercial  
 industrial  residential  other \_\_\_\_\_
18. Map \_\_\_\_\_
19. Photo looking NE Photographer \_\_\_\_\_ Page \_\_\_\_\_



# Iowa Site Inventory

Bureau of Historic Preservation  
Iowa State Department of Cultural Affairs  
Capitol Complex  
Des Moines, Iowa 50319

Site Number 042  
District Name \_\_\_\_\_  
Map Reference \_\_\_\_\_

## Identification

1. Site Name UNITED BANK & TRUST BUILDING  
2. Village/Town/City AMES Township WASHINGTON County STORY  
3. Street Address 405 MAIN STREET  
4. Legal Location \_\_\_\_\_  
Urban: \_\_\_\_\_ subdivision \_\_\_\_\_ block \_\_\_\_\_ parcel \_\_\_\_\_ subparcel \_\_\_\_\_  
Rural: \_\_\_\_\_ township \_\_\_\_\_ range \_\_\_\_\_ section \_\_\_\_\_ 1/4 section of 1/4 section \_\_\_\_\_  
5. UTM Location: zone \_\_\_\_\_ easting \_\_\_\_\_ northing \_\_\_\_\_ ; Acreage \_\_\_\_\_  
6. Owner(s) Name \_\_\_\_\_  
7. Owner(s) Address \_\_\_\_\_  
(Street address) (City) (State) (Zip)  
8. Use: Present COMMERCIAL Original COMMERCIAL

## Description

9. Date of Construction: 1965-1980 Architect/Builder \_\_\_\_\_  
10. Building Type  
 single-family dwelling  industrial  other institutional  religious  
 multiple-family dwelling  education  public  agricultural  
 commercial  
11. Exterior walls:  clapboard  stone  brick  board and batten  shingles  stucco  
 other \_\_\_\_\_  
12. Structural System:  wood frame with interlocking joints  wood frame with light members (balloon frame)  
 masonry load-bearing walls  iron frame  steel frame with curtain walls  reinforced concrete  
 other \_\_\_\_\_  
13. Condition:  excellent  good  fair  deteriorated  
14. Integrity:  original site  moved--if so, when? \_\_\_\_\_  
Notes on alterations, additions (with dates and architect, if known) and any other notable features of building and site:  
\_\_\_\_\_(see next page)  
15. Related Outbuildings and Property:  barn  other farm structures  carriage house  garage  privy  
 other \_\_\_\_\_  
16. Is the building endangered:  no  yes--if so, why? \_\_\_\_\_  
17. Surroundings of the building:  open land  woodland  scattered outbuildings  densely built-up  commercial  
 industrial  residential  other \_\_\_\_\_

18. Map \_\_\_\_\_

19. Photo looking NW Photographer Wirth



# Significance

(Indicate sources of information for all statements)

## 20. Architectural Significance

- a. Ames Contributing (Key structure/individually may qualify for the National Register)
- b. Ames Compatible (Contributing structure)
- c. Ames Noncontributing (Not eligible/intrusion)

This is a one-story, brick commercial building. Located on the northwest corner of the intersection of Main Street and Burnett Avenue, this building is non-conforming to typical room organization of most buildings on Main Street. The building's arches on the facade worked somewhat in rhythm with those of the Collegian Theatre before that building was façademized.

This building relates to no other architectural design in the central business district. It is an intrusion in an historic district.

## 21. Historical Significance Theme(s) \_\_\_\_\_

- a. Key structure/individually may qualify for the National Register (Ames Contributing)
- b. Contributing structure (Ames Compatible)
- c. Not eligible/intrusion (Ames Non-Contributing)

In the 1930s a restaurant stood on this site illustrated in an historic photograph of the Collegian Theatre.

United Bank and Trust Company is now owned by Firstar Bank of Minnesota.

## 22. Sources (for primary and secondary sources, give complete facts of publication: author, title, place of publication, date, etc

Prepared by William C. Page, Public Historian Date Fall 1991  
Address 104 Southwest Fourth Street Des Moines, IA 50309 Telephone 515/280-8026  
Organization The Dunbar/Jones Partnership

## For Office of Historic Preservation Use Only

### 1. Office Information Sources on this Property

- County Resource File \_\_\_\_\_
- Windshield Survey \_\_\_\_\_
- National Register \_\_\_\_\_
- Grants-in-Aid: \_\_\_\_\_
- Determination of Eligibility \_\_\_\_\_

Review and Compliance Project: \_\_\_\_\_

- Other \_\_\_\_\_
- Other \_\_\_\_\_
- Other \_\_\_\_\_

### 2. Subject Traces

- a. \_\_\_\_\_
- b. \_\_\_\_\_
- c. \_\_\_\_\_
- d. \_\_\_\_\_
- e. \_\_\_\_\_

### 3. Photo Images \_\_\_\_\_

- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_

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Bureau of Historic Preservation  
Iowa State Department of Cultural Affairs  
Capitol Complex  
Des Moines, Iowa 50319

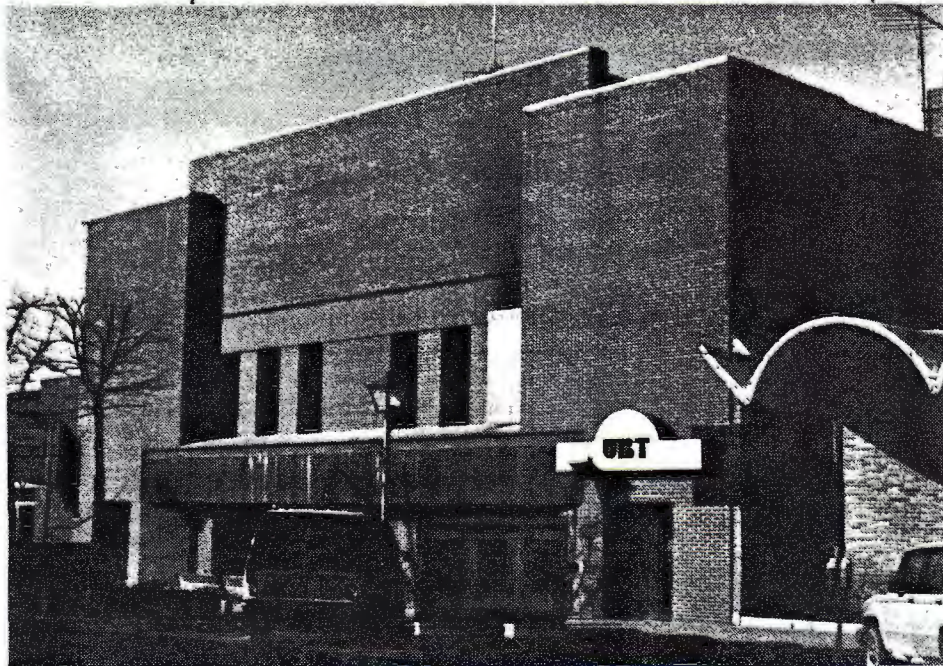
Site Number 043  
District Name \_\_\_\_\_  
Map Reference \_\_\_\_\_

## Identification

1. Site Name COLLEGIAN THEATRE  
2. Village/Town/City AMES Township WASHINGTON County STORY  
3. Street Address 411 MAIN STREET  
4. Legal Location \_\_\_\_\_  
Urban: \_\_\_\_\_ subdivision \_\_\_\_\_ block \_\_\_\_\_ parcel \_\_\_\_\_ subparcel \_\_\_\_\_  
Rural: \_\_\_\_\_ township \_\_\_\_\_ range \_\_\_\_\_ section \_\_\_\_\_ 1/4 section of 1/4 section \_\_\_\_\_  
5. UTM Location: zone \_\_\_\_\_ easting \_\_\_\_\_ northing \_\_\_\_\_; Acreage \_\_\_\_\_  
6. Owner(s) Name \_\_\_\_\_  
7. Owner(s) Address \_\_\_\_\_  
(Street address) (City) (State) (Zip)  
8. Use: Present COMMERCIAL Original COMMERCIAL

## Description

9. Date of Construction: 1937\* Architect/Builder WETHERELL & HARRISON, AIA  
10. Building Type  
 single-family dwelling  industrial  other institutional  religious  
 multiple-family dwelling  education  public  agricultural  
 commercial  
11. Exterior walls:  clapboard  stone  brick  board and batten  shingles  stucco  
 other \_\_\_\_\_  
12. Structural System:  wood frame with interlocking joints  wood frame with light members (balloon frame)  
 masonry load-bearing walls  iron frame  steel frame with curtain walls  reinforced concrete  
 other \_\_\_\_\_  
13. Condition:  excellent  good  fair  deteriorated  
14. Integrity:  original site  moved--if so, when? \_\_\_\_\_  
Notes on alterations, additions (with dates and architect, if known) and any other notable features of building and site:  
\_\_\_\_\_(see next page)  
15. Related Outbuildings and Property:  barn  other farm structures  carriage house  garage  privy  
 other \_\_\_\_\_  
16. Is the building endangered:  no  yes--if so, why? \_\_\_\_\_  
17. Surroundings of the building:  open land  woodland  scattered outbuildings  densely built-up  commercial  
 industrial  residential  other \_\_\_\_\_  
18. Map \_\_\_\_\_ 19. Photo looking NW Photographer Wirth



# Significance

(Indicate sources of information for all statements)

## 20. Architectural Significance

- a. Ames Contributing (Key structure/individually may qualify for the National Register)
- b. Ames Compatible (Contributing structure)
- c. Ames Noncontributing (Not eligible/intrusion)

See continuation sheet.

## 21. Historical Significance

Theme(s) NA

- a. Key structure/individually may qualify for the National Register (Ames Contributing)
- b. Contributing structure (Ames Compatible)
- c. Not eligible/intrusion (Ames Non-Contributing)

Joseph V. and Mildred M. Gerbracht lived at 1900 Grand Avenue (now known as 619 18th Street) on an estate built in the late 1940s. Mr. Gerbracht was a colorful and successful Ames entrepreneur and movie theater owner. Although none of his theaters remain to call attention to his career, his home may do so under National Register Criterion B.

## 22. Sources (for primary and secondary sources, give complete facts of publication: author, title, place of publication, date, etc)

\* Archives of Wetherell-Ericsson Architects of Des Moines, Iowa, successors to Wetherell & Harrison architects of Des Moines. According to Larry Ericsson, AIA, Wetherell & Harrison designed many movie theater buildings. The plans for the Collegian Theatre are dated January 25, 1937.

Prepared by William C. Page, Public Historian Date Fall 1991  
Address 104 Southwest Fourth Street Des Moines, IA 50309 Telephone 515/280-8026  
Organization The Dunbar/Jones Partnership

## For Office of Historic Preservation Use Only

### 1. Office Information Sources on this Property

- County Resource File \_\_\_\_\_
- Windshield Survey \_\_\_\_\_
- National Register \_\_\_\_\_
- Grants-in-Aid: \_\_\_\_\_
- Determination of Eligibility \_\_\_\_\_

Review and Compliance Project: \_\_\_\_\_

- Other \_\_\_\_\_
- Other \_\_\_\_\_
- Other \_\_\_\_\_

### 2. Subject Traces

- a. \_\_\_\_\_
- b. \_\_\_\_\_
- c. \_\_\_\_\_
- d. \_\_\_\_\_
- e. \_\_\_\_\_

### 3. Photo Images \_\_\_\_\_

- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_



# Iowa Site Inventory

Bureau of Historic Preservation  
Iowa State Department of Cultural Affairs  
Capitol Complex  
Des Moines, Iowa 50319

Site Number 043

## CONTINUATION SHEET

### Significance

#### 20. Architectural Significance

This is a two-story, brick commercial building originally designed as a movie theater, built in 1937, and façademized in the 1980s to serve as offices for the bank adjacent to the east. The original design was one of (if not the) most exuberant streamlined architectural designs in Ames. The façade featured architectural details worked in green and other colored glazed tile. The façade also featured a marquee lighted with neon. The 1980s alterations placed new brick veneer on the facade and removed many of the architectural details. The east, west, and north walls are constructed of hollow tile block and retain a high degree of integrity. Because the recent façade alterations destroyed so much of the building's integrity, it would be an intrusion in an historic district. The loss of integrity in this building is irreversible--a major loss to Ames. This was one of the finest buildings of its type in Central Iowa.

Design of the building was the work of Wetherell and Harrison, architects of Des Moines. An historic photograph of the building in the collection of the Munn Lumber Company has this information on reverse: "Both sides and rear end, including basement of 17" Farrenwall construction, using twin brick size manufactured by Centerville Clay Products Co., Centerville, Iowa."

Owned by Joseph V. Gerbracht, president of the Ames Theatre Company, this theater featured, on the interior, rich Art Deco details, such as winding stairway to the lounge and balcony, tete-a-tete lounge chairs, velvet drapes, and mirrors which refracted light. This was a combination theater serving both motion pictures and stage events. You could exit the theater into what is now the bank parking lot.

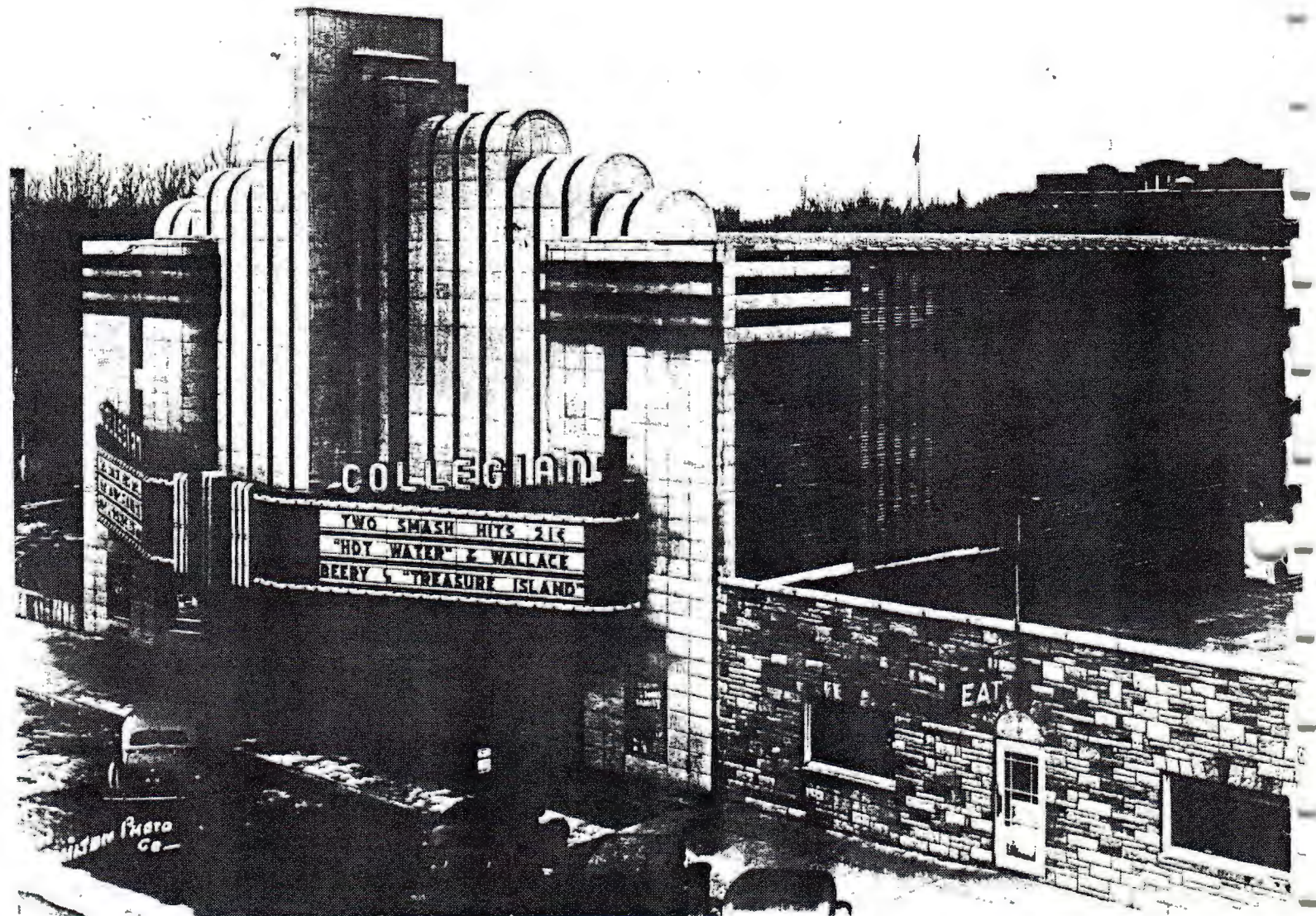
This theater was an important meeting place for the community, and many well remember the building's elaborate architecture. Today the facade exists without a past and evidently no future.

# Iowa Site Inventory

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Iowa State Department of Cultural Affairs  
Capitol Complex  
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Site Number 043

## CONTINUATION SHEET



# Iowa Site Inventory

Bureau of Historic Preservation  
Iowa State Department of Cultural Affairs  
Capitol Complex  
Des Moines, Iowa 50319

Site Number 044  
District Name \_\_\_\_\_  
Map Reference \_\_\_\_\_

## Identification

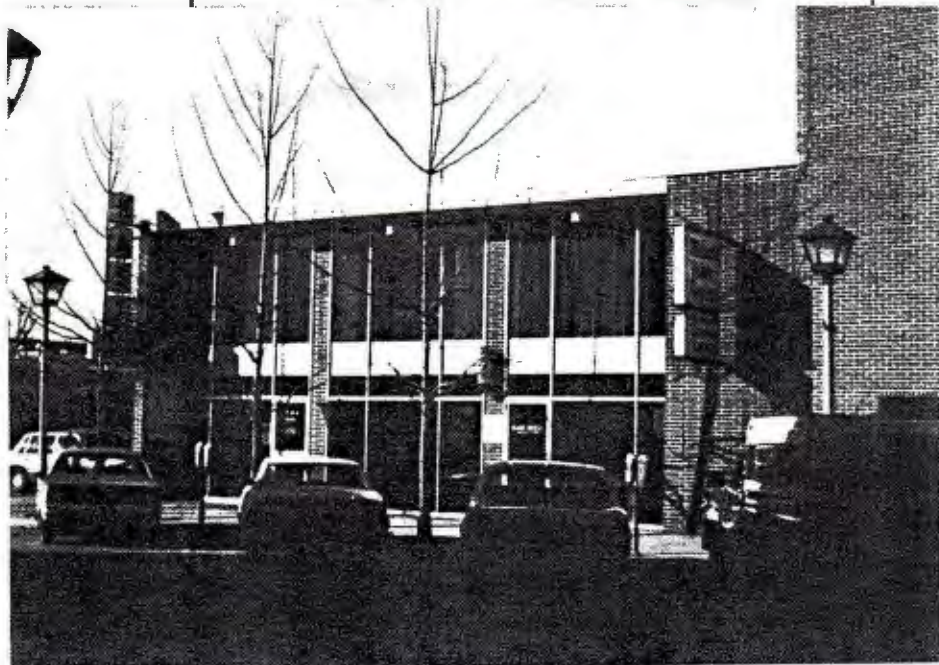
1. Site Name COMMERCIAL BUILDING
2. Village/Town/City AMES Township WASHINGTON County STORY
3. Street Address 415 MAIN STREET
4. Legal Location \_\_\_\_\_  
Urban: subdivision block parcel subparcel  
Rural: township range section 1/4 section of 1/4 section
5. UTM Location: zone \_\_\_\_\_ easting \_\_\_\_\_ northing \_\_\_\_\_ ; Acreage \_\_\_\_\_
6. Owner(s) Name \_\_\_\_\_
7. Owner(s) Address \_\_\_\_\_  
(Street address) (City) (State) (Zip)
8. Use: Present COMMERCIAL Original COMMERCIAL

## Description

9. Date of Construction: 1970-1985 Architect/Builder \_\_\_\_\_
10. Building Type  
 single-family dwelling  industrial  other institutional  religious  
 multiple-family dwelling  education  public  agricultural  
 commercial
11. Exterior walls:  clapboard  stone  brick  board and batten  shingles  stucco  
 other \_\_\_\_\_
12. Structural System:  wood frame with interlocking joints  wood frame with light members (balloon frame)  
 masonry load-bearing walls  iron frame  steel frame with curtain walls  reinforced concrete  
 other \_\_\_\_\_
13. Condition:  excellent  good  fair  deteriorated
14. Integrity:  original site  moved--if so, when? \_\_\_\_\_  
Notes on alterations, additions (with dates and architect, if known) and any other notable features of building and site:  
(see next page)
15. Related Outbuildings and Property:  barn  other farm structures  carriage house  garage  privy  
 other \_\_\_\_\_
16. Is the building endangered:  no  yes--if so, why? \_\_\_\_\_
17. Surroundings of the building:  open land  woodland  scattered outbuildings  densely built-up  commercial  
 industrial  residential  other \_\_\_\_\_

18. Map

19. Photo looking NW Photographer \_\_\_\_\_ Page \_\_\_\_\_



# Significance

(Indicate sources of information for all statements)

## 20. Architectural Significance

- a. Ames Contributing (Key structure/individually may qualify for the National Register)
- b. Ames Compatible (Contributing structure)
- c. Ames Noncontributing (Not eligible/intrusion)

This is a two-story, brick commercial building. The design of this building is non-conforming with the one- and two-room facade configuration, which characterizes most of the historic commercial buildings in the Ames central business district. This non-conformance is particularly evident in the design of the second floor windows. The building has three commercial rooms. This building appears to be constructed with brick veneer and has aluminum door and window frames.

Constructed in the 1970s or 1980s, this building is an intrusion in an historic commercial district.

## 21. Historical Significance

Theme(s) \_\_\_\_\_

- a. Key structure/individually may qualify for the National Register (Ames Contributing)
- b. Contributing structure (Ames Compatible)
- c. Not eligible/intrusion (Ames Non-Contributing)

Historical significance does not obtain.

## 22. Sources (for primary and secondary sources, give complete facts of publication: author, title, place of publication, date, etc)

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 Address 104 Southwest Fourth Street Des Moines, IA 50309 Telephone 515/280-8026  
 Organization The Dunbar/Jones Partnership

## For Office of Historic Preservation Use Only

### 1. Office Information Sources on this Property

- County Resource File \_\_\_\_\_
- Windshield Survey \_\_\_\_\_
- National Register \_\_\_\_\_
- Grants-in-Aid: \_\_\_\_\_
- Determination of Eligibility \_\_\_\_\_

Review and Compliance Project:

- Other \_\_\_\_\_
- Other \_\_\_\_\_
- Other \_\_\_\_\_

### 2. Subject Traces

- a. \_\_\_\_\_
- b. \_\_\_\_\_
- c. \_\_\_\_\_
- d. \_\_\_\_\_
- e. \_\_\_\_\_

### 3. Photo Images \_\_\_\_\_

- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_

# Iowa Site Inventory

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Des Moines, Iowa 50319

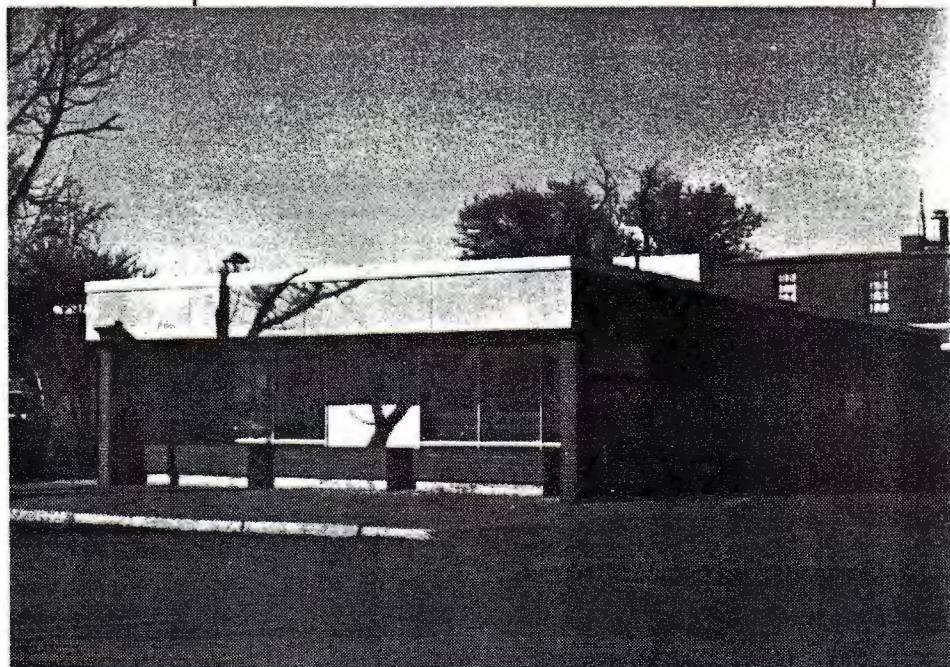
Site Number 045  
District Name \_\_\_\_\_  
Map Reference \_\_\_\_\_

## Identification

1. Site Name IOWA DEPARTMENT OF TRANSPORTATION CREDIT UNION
2. Village/Town/City AMES Township WASHINGTON County STORY
3. Street Address 423 MAIN STREET
4. Legal Location  
Urban: \_\_\_\_\_ subdivision \_\_\_\_\_ block \_\_\_\_\_ parcel \_\_\_\_\_ subparcel \_\_\_\_\_  
Rural: \_\_\_\_\_ township \_\_\_\_\_ range \_\_\_\_\_ section \_\_\_\_\_ 1/4 section of 1/4 section \_\_\_\_\_
5. UTM Location: zone \_\_\_\_\_ easting \_\_\_\_\_ northing \_\_\_\_\_; Acreage \_\_\_\_\_
6. Owner(s) Name \_\_\_\_\_
7. Owner(s) Address \_\_\_\_\_  
(Street address) (City) (State) (Zip)
8. Use: Present COMMERCIAL Original COMMERCIAL

## Description

9. Date of Construction: 1970-1985 Architect/Builder \_\_\_\_\_
10. Building Type  
 single-family dwelling  industrial  other institutional  religious  
 multiple-family dwelling  education  public  agricultural  
 commercial
11. Exterior walls:  clapboard  stone  brick  board and batten  shingles  stucco  
 other \_\_\_\_\_
12. Structural System:  wood frame with interlocking joints  wood frame with light members (balloon frame)  
 masonry load-bearing walls  iron frame  steel frame with curtain walls  reinforced concrete  
 other \_\_\_\_\_
13. Condition:  excellent  good  fair  deteriorated
14. Integrity:  original site  moved--if so, when? \_\_\_\_\_  
Notes on alterations, additions (with dates and architect, if known) and any other notable features of building and site:  
\_\_\_\_\_  
(see next page)
15. Related Outbuildings and Property:  barn  other farm structures  carriage house  garage  privy  
 other \_\_\_\_\_
16. Is the building endangered:  no  yes--if so, why? \_\_\_\_\_
17. Surroundings of the building:  open land  woodland  scattered outbuildings  densely built-up  commercial  
 industrial  residential  other \_\_\_\_\_
18. Map \_\_\_\_\_
19. Photo looking NW Photographer \_\_\_\_\_ Page \_\_\_\_\_



# Significance

(Indicate sources of information for all statements)

## 20. Architectural Significance

- a. Ames Contributing (Key structure/individually may qualify for the National Register)
- b. Ames Compatible (Contributing structure)
- c. Ames Noncontributing (Not eligible/intrusion)

This is a one-story, brick commercial building located on the northeast corner of the intersection of Main Street and Clark Avenue. It is non-conforming to the standard one- and two room commercial design historically employed in Ames. The building appears to be clad with brick veneer probably over a stud wall construction. The building also employs stucco as a cladding material.

Constructed in the 1970s or 1980s, this building is an intrusion in an historic district. The name of the building indicated above is the only name associated with this building.

## 21. Historical Significance

Theme(s) \_\_\_\_\_

- a. Key structure/individually may qualify for the National Register (Ames Contributing)
- b. Contributing structure (Ames Compatible)
- c. Not eligible/intrusion (Ames Non-Contributing)

Historical significance does not obtain.

## 22. Sources (for primary and secondary sources, give complete facts of publication: author, title, place of publication, date, etc

Prepared by William C. Page, Public Historian Date Fall 1991  
Address 104 Southwest Fourth Street Des Moines, IA 50309 Telephone 515/280-8026  
Organization The Dunbar/Jones Partnership

## For Office of Historic Preservation Use Only

### 1. Office Information Sources on this Property

- County Resource File \_\_\_\_\_
- Windshield Survey \_\_\_\_\_
- National Register \_\_\_\_\_
- Grants-in-Aid: \_\_\_\_\_
- Determination of Eligibility \_\_\_\_\_

Review and Compliance Project: \_\_\_\_\_

- Other \_\_\_\_\_
- Other \_\_\_\_\_
- Other \_\_\_\_\_

### 2. Subject Traces

- a. \_\_\_\_\_
- b. \_\_\_\_\_
- c. \_\_\_\_\_
- d. \_\_\_\_\_
- e. \_\_\_\_\_

### 3. Photo Images \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

# Iowa Site Inventory

Bureau of Historic Preservation  
Iowa State Department of Cultural Affairs  
Capitol Complex  
Des Moines, Iowa 50319

Site Number 046  
District Name \_\_\_\_\_  
Map Reference \_\_\_\_\_

## Identification

1. Site Name DR. C. B. KERR CHIROPRACTIC OFFICE & KERR APARTMENTS  
2. Village/Town/City AMES Township WASHINGTON County STORY  
3. Street Address 501 MAIN STREET  
4. Legal Location \_\_\_\_\_  
Urban: \_\_\_\_\_ subdivision \_\_\_\_\_ block \_\_\_\_\_ parcel \_\_\_\_\_ subparcel \_\_\_\_\_  
Rural: \_\_\_\_\_ township \_\_\_\_\_ range \_\_\_\_\_ section \_\_\_\_\_ 1/4 section of 1/4 section \_\_\_\_\_  
5. UTM Location: zone \_\_\_\_\_ casting \_\_\_\_\_ northing \_\_\_\_\_; Acreage \_\_\_\_\_  
6. Owner(s) Name \_\_\_\_\_  
7. Owner(s) Address \_\_\_\_\_  
(Street address) (City) (State) (Zip)  
8. Use: Present COMMERCIAL Original COMMERCIAL

## Description

9. Date of Construction: BET. 1936-1940\* Architect/Builder \_\_\_\_\_  
10. Building Type  
 single-family dwelling  industrial  other institutional  religious  
 multiple-family dwelling  education  public  agricultural  
 commercial  
11. Exterior walls:  clapboard  stone  brick  board and batten  shingles  stucco  
 other \_\_\_\_\_  
12. Structural System:  wood frame with interlocking joints  wood frame with light members (balloon frame)  
 masonry load-bearing walls  iron frame  steel frame with curtain walls  reinforced concrete  
 other \_\_\_\_\_  
13. Condition:  excellent  good  fair  deteriorated  
14. Integrity:  original site  moved--if so, when? \_\_\_\_\_  
Notes on alterations, additions (with dates and architect, if known) and any other notable features of building and site:  
\_\_\_\_\_  
(see next page)  
15. Related Outbuildings and Property:  barn  other farm structures  carriage house  garage  privy  
 other \_\_\_\_\_  
16. Is the building endangered:  no  yes--if so, why? \_\_\_\_\_  
17. Surroundings of the building:  open land  woodland  scattered outbuildings  densely built-up  commercial  
 industrial  residential  other \_\_\_\_\_

18. Map \_\_\_\_\_

19. Photo looking NW Photographer \_\_\_\_\_ Page \_\_\_\_\_



# Significance

(Indicate sources of information for all statements)

## 20. Architectural Significance

- a. Ames Contributing (Key structure/individually may qualify for the National Register)
- b. Ames Compatible (Contributing structure)
- c. Ames Noncontributing (Not eligible/intrusion)

See continuation sheet.

## 21. Historical Significance Theme(s) \_\_\_\_\_

- a. Key structure/individually may qualify for the National Register (Ames Contributing)
- b. Contributing structure (Ames Compatible)
- c. Not eligible/intrusion (Ames Non-Contributing)

See continuation sheet.

## 22. Sources (for primary and secondary sources, give complete facts of publication: author, title, place of publication, date, etc.)

*Ames City Directories, 1936 and 1940.*

Prepared by William C. Page, Public Historian Date Fall 1991  
Address 104 Southwest Fourth Street Des Moines, IA 50309 Telephone 515/280-8026  
Organization The Dunbar/Jones Partnership

## For Office of Historic Preservation Use Only

### 1. Office Information Sources on this Property

- County Resource File \_\_\_\_\_
- Windshield Survey \_\_\_\_\_
- National Register \_\_\_\_\_
- Grants-in-Aid: \_\_\_\_\_
- Determination of Eligibility \_\_\_\_\_

### Review and Compliance Project:

- Other \_\_\_\_\_
- Other \_\_\_\_\_
- Other \_\_\_\_\_

### 2. Subject Traces

- a. \_\_\_\_\_
- b. \_\_\_\_\_
- c. \_\_\_\_\_
- d. \_\_\_\_\_
- e. \_\_\_\_\_

### 3. Photo Images \_\_\_\_\_

- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_



# Iowa Site Inventory

Bureau of Historic Preservation  
Iowa State Department of Cultural Affairs  
Capitol Complex  
Des Moines, Iowa 50319

Site Number 046

## CONTINUATION SHEET

### Significance (Indicate sources of information for all statements)

#### 20. Architectural Significance

This is a two-story, brick commercial building located on the northwest corner of the intersection of Main Street and Clark Avenue. Constructed between 1936-1940, this building has a double facade, one facing Main and one facing Clark.

Located on the western edge of the central business district, this building acts as a transition between historic commercial and residential sections of Ames. It is a free-standing building. There are no adjoining commercial rooms next to it. This relates the building to single-family dwellings, which mostly surrounded it originally. The siting of the building further emphasizes its transitional character. The building stands, for example, somewhat setback from the sidewalk with grassy areas in front of both the south and east facades. Although detrimental to the building's mortar joints, the heavy growth of ivy which covers the building is, perhaps, another attempt to blend the building into the residential area. This building was originally designed as a professional office with apartments upstairs.

The first floor features a central entrance flanked by windows. These windows are now blocked up. Second floor facade features small, single paned windows, which give the building a somewhat fortress look. There is a cast concrete decoration of stylized dentils surrounding the building near the top. Cast concrete coping caps this decoration. There is also cast concrete trim around the door entrances. Fixed metal canopies are situated above each of the facade entryways and these appear original to the building. Brick used in this building is multi-colored with orange, red, and brown shades. The surface of the brick is textured in a "pock marked" design. The building is covered by a heavy growth of ivy.

The brick and cast concrete detailing of this building calls attention to a late phase of the commercial style of architecture in Ames with a somewhat streamlined influence. As such, the building may be of key architectural significance in an historic commercial district. Although an architect has not been identified, the building appears to be professionally designed.

#### 21. Historical Significance Theme(s) \_\_\_\_\_

This is a fine building, which calls attention to the upbuilding of the Ames central business district. Although the Chicago Northwestern Depot stood on the south, this block of Main Street was residential when the Kerr Building was constructed. The building's successful attempt to integrate commercial and residential functions into its design shows careful regard to the feeling of its neighbors, while the mixed use of the building calls attention to the westward extension of commercial activity along Main Street in the 1920s and 1930s.

Cloyce B. Kerr was an Ames chiropractor with offices at 228-1/2 Main Street prior to his relocation to this address. He built this building for his practice and as a real estate investment. Kerr and Charlotte R. Kerr, his wife, resided at 401 Clark Avenue.

# Iowa Site Inventory

Bureau of Historic Preservation  
Iowa State Department of Cultural Affairs  
Capitol Complex  
Des Moines, Iowa 50319

Site Number 047  
District Name \_\_\_\_\_  
Map Reference \_\_\_\_\_

## Identification

1. Site Name COMMERCIAL BUILDING  
2. Village/Town/City AMES Township WASHINGTON County STORY  
3. Street Address 108 MAIN STREET  
4. Legal Location \_\_\_\_\_  
Urban: \_\_\_\_\_ subdivision \_\_\_\_\_ block \_\_\_\_\_ parcel \_\_\_\_\_ subparcel \_\_\_\_\_  
Rural: \_\_\_\_\_ township \_\_\_\_\_ range \_\_\_\_\_ section \_\_\_\_\_ 1/4 section of 1/4 section \_\_\_\_\_  
5. UTM Location: zone \_\_\_\_\_ easting \_\_\_\_\_ northing \_\_\_\_\_ ; Acreage \_\_\_\_\_  
6. Owner(s) Name \_\_\_\_\_  
7. Owner(s) Address \_\_\_\_\_  
(Street address) (City) (State) (Zip)  
8. Use: Present COMMERCIAL Original COMMERCIAL

## Description

9. Date of Construction: 1980S FACELIFT Architect/Builder \_\_\_\_\_  
10. Building Type  
 single-family dwelling  industrial  other institutional  religious  
 multiple-family dwelling  education  public  agricultural  
 commercial  
11. Exterior walls:  clapboard  stone  brick  board and batten  shingles  stucco  
 other \_\_\_\_\_  
12. Structural System:  wood frame with interlocking joints  wood frame with light members (balloon frame)  
 masonry load-bearing walls  iron frame  steel frame with curtain walls  reinforced concrete  
 other \_\_\_\_\_  
13. Condition:  excellent  good  fair  deteriorated  
14. Integrity:  original site  moved--if so, when? \_\_\_\_\_  
Notes on alterations, additions (with dates and architect, if known) and any other notable features of building and site:  
\_\_\_\_\_  
(see next page)  
15. Related Outbuildings and Property:  barn  other farm structures  carriage house  garage  privy  
 other \_\_\_\_\_  
16. Is the building endangered:  no  yes--if so, why? \_\_\_\_\_  
17. Surroundings of the building:  open land  woodland  scattered outbuildings  densely built-up  commercial  
 industrial  residential  other \_\_\_\_\_

18. Map

19. Photo looking S Photographer Wirth



# Significance

(Indicate sources of information for all statements)

## 20. Architectural Significance

- a. Ames Contributing (Key structure/individually may qualify for the National Register)
- b. Ames Compatible (Contributing structure)
- c. Ames Noncontributing (Not eligible/intrusion)

This is a one-story, brick commercial building with a one-room wide facade. The width of the facade is narrower than most one-room facades in Ames. Number 108 is associated with 110-122 Main Street because they presently share a common design which is particularly evident in the upper area of the storefronts all now clad with stucco and painted white. The rear of these buildings have recently been altered to provide secondary facades.

Because of alterations to the storefront, this building is evaluated as an intrusion in an historic commercial district.

## 21. Historical Significance

Theme(s) \_\_\_\_\_

- a. Ames Contributing (Key structure/individually may qualify for the National Register)
- b. Ames Compatible (Contributing structure)
- c. Ames Noncontributing (Not eligible/intrusion)

In 1911 this lot was vacant according to the Sanborn fire insurance map for that year. Historical significance is not claimed for this building.

## 22. Sources (for primary and secondary sources, give complete facts of publication: author, title, place of publication, date, etc

Prepared by William C. Page, Public Historian Date Fall 1991  
 Address 104 Southwest Fourth Street Des Moines, IA 50309 Telephone 515/280-8026  
 Organization The Dunbar/Jones Partnership

## For Office of Historic Preservation Use Only

### 1. Office Information Sources on this Property

- County Resource File \_\_\_\_\_
- Windshield Survey \_\_\_\_\_
- National Register \_\_\_\_\_
- Grants-in-Aid: \_\_\_\_\_
- Determination of Eligibility \_\_\_\_\_

Review and Compliance Project \_\_\_\_\_

- Other \_\_\_\_\_
- Other \_\_\_\_\_
- Other \_\_\_\_\_

### 2. Subject Traces

- a. \_\_\_\_\_
- b. \_\_\_\_\_
- c. \_\_\_\_\_
- d. \_\_\_\_\_
- e. \_\_\_\_\_

### 3. Photo Images \_\_\_\_\_

- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_

# Iowa Site Inventory

Bureau of Historic Preservation  
Iowa State Department of Cultural Affairs  
Capitol Complex  
Des Moines, Iowa 50319

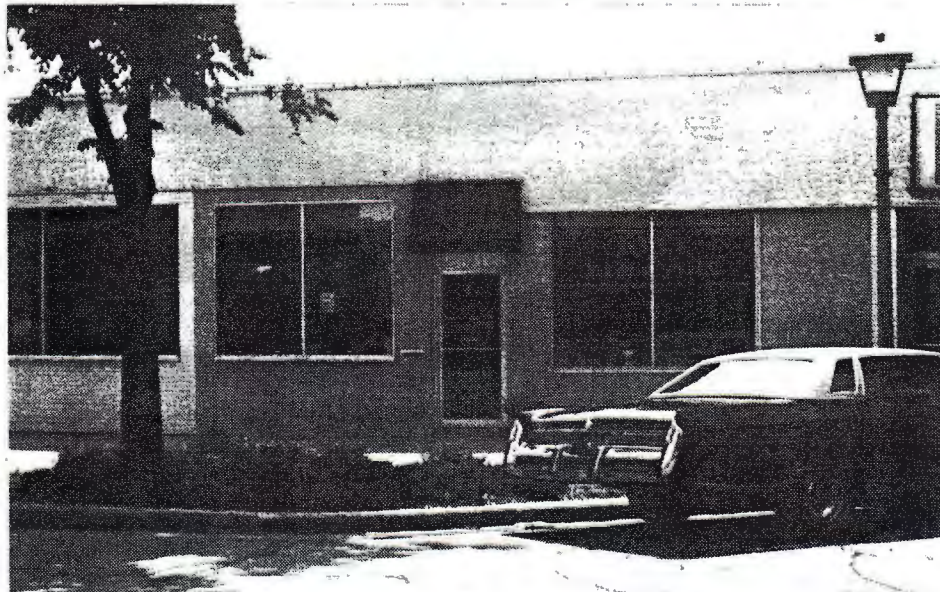
Site Number 048  
District Name \_\_\_\_\_  
Map Reference \_\_\_\_\_

## Identification

1. Site Name COMMERCIAL BUILDING
2. Village/Town/City AMES Township WASHINGTON County STORY
3. Street Address 110 MAIN STREET
4. Legal Location  
Urban: \_\_\_\_\_ subdivision \_\_\_\_\_ block \_\_\_\_\_ parcel \_\_\_\_\_ subparcel \_\_\_\_\_  
Rural: \_\_\_\_\_ township \_\_\_\_\_ range \_\_\_\_\_ section \_\_\_\_\_ 1/4 section of 1/4 section \_\_\_\_\_
5. UTM Location: zone \_\_\_\_\_ easting \_\_\_\_\_ northing \_\_\_\_\_; Acreage \_\_\_\_\_
6. Owner(s) Name \_\_\_\_\_
7. Owner(s) Address \_\_\_\_\_  
(Street address) (City) (State) (Zip)
8. Use: Present COMMERCIAL Original COMMERCIAL

## Description

9. Date of Construction: 1980S FACELIFT Architect/Builder \_\_\_\_\_
10. Building Type  
 single-family dwelling  industrial  other institutional  religious  
 multiple-family dwelling  education  public  agricultural  
 commercial
11. Exterior walls:  clapboard  stone  brick  board and batten  shingles  stucco  
 other \_\_\_\_\_
12. Structural System:  wood frame with interlocking joints  wood frame with light members (balloon frame)  
 masonry load-bearing walls  iron frame  steel frame with curtain walls  reinforced concrete  
 other \_\_\_\_\_
13. Condition:  excellent  good  fair  deteriorated
14. Integrity:  original site  moved--if so, when? \_\_\_\_\_  
Notes on alterations, additions (with dates and architect, if known) and any other notable features of building and site:  
\_\_\_\_\_(see next page)
15. Related Outbuildings and Property:  barn  other farm structures  carriage house  garage  privy  
 other \_\_\_\_\_
16. Is the building endangered:  no  yes--if so, why? \_\_\_\_\_
17. Surroundings of the building:  open land  woodland  scattered outbuildings  densely built-up  commercial  
 industrial  residential  other \_\_\_\_\_
18. Map \_\_\_\_\_
19. Photo looking S Photographer Wirth



# Significance

(Indicate sources of information for all statements)

## 20. Architectural Significance

- a. Ames Contributing (Key structure/individually may qualify for the National Register)
- b. Ames Compatible (Contributing structure)
- c. Ames Noncontributing (Not eligible/intrusion)

This is a one-story, brick commercial building with a one-room wide facade. This building is associated with 108 and 116-122 Main Street because they presently share a common design particularly evident in the upper area of the storefronts which are all now clad with stucco and painted white. Number 110 has a somewhat wider facade than the others. The rear of these buildings have recently been altered to provide secondary facades.

Because of alterations to the storefront, this building is evaluated as an intrusion in an historic commercial district.

## 21. Historical Significance

Theme(s) \_\_\_\_\_

- a. Ames Contributing (Key structure/individually may qualify for the National Register)
- b. Ames Compatible (Contributing structure)
- c. Ames Noncontributing (Not eligible/intrusion)

Historical significance is not claimed for this building.

## 22. Sources (for primary and secondary sources, give complete facts of publication: author, title, place of publication, date, etc)

Prepared by William C. Page, Public Historian Date Fall 1991  
Address 104 Southwest Fourth Street Des Moines, IA 50309 Telephone 515/280-8026  
Organization The Dunbar/Jones Partnership

## For Office of Historic Preservation Use Only

### 1. Office Information Sources on this Property

- County Resource File \_\_\_\_\_
- Windshield Survey \_\_\_\_\_
- National Register \_\_\_\_\_
- Grants-in-Aid: \_\_\_\_\_
- Determination of Eligibility \_\_\_\_\_

Review and Compliance Project: \_\_\_\_\_

- Other \_\_\_\_\_
- Other \_\_\_\_\_
- Other \_\_\_\_\_

### 2. Subject Traces

- a. \_\_\_\_\_
- b. \_\_\_\_\_
- c. \_\_\_\_\_
- d. \_\_\_\_\_
- e. \_\_\_\_\_

### 3. Photo Images \_\_\_\_\_

- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_

# Iowa Site Inventory

Bureau of Historic Preservation  
Iowa State Department of Cultural Affairs  
Capitol Complex  
Des Moines, Iowa 50319

Site Number 049  
District Name \_\_\_\_\_  
Map Reference \_\_\_\_\_

## Identification

1. Site Name COMMERCIAL BUILDING  
2. Village/Town/City AMES Township WASHINGTON County STORY  
3. Street Address 116 MAIN STREET  
4. Legal Location  
Urban: subdivision block parcel subparcel  
Rural: township range section 1/4 section of 1/4 section  
5. UTM Location: zone \_\_\_\_\_ easting \_\_\_\_\_ northing \_\_\_\_\_ ; Acreage \_\_\_\_\_  
6. Owner(s) Name \_\_\_\_\_  
7. Owner(s) Address \_\_\_\_\_  
(Street address) (City) (State) (Zip)  
8. Use: Present COMMERCIAL Original COMMERCIAL

## Description

9. Date of Construction: 1980S FACELIFT Architect/Builder \_\_\_\_\_  
10. Building Type  
 single-family dwelling  industrial  other institutional  religious  
 multiple-family dwelling  education  public  agricultural  
 commercial  
11. Exterior walls:  clapboard  stone  brick  board and batten  shingles  stucco  
 other \_\_\_\_\_  
12. Structural System:  wood frame with interlocking joints  wood frame with light members (balloon frame)  
 masonry load-bearing walls  iron frame  steel frame with curtain walls  reinforced concrete  
 other \_\_\_\_\_  
13. Condition:  excellent  good  fair  deteriorated  
14. Integrity:  original site  moved--if so, when? \_\_\_\_\_  
Notes on alterations, additions (with dates and architect, if known) and any other notable features of building and site:  
\_\_\_\_\_  
(see next page)  
15. Related Outbuildings and Property:  barn  other farm structures  carriage house  garage  privy  
 other \_\_\_\_\_  
16. Is the building endangered:  no  yes--if so, why? \_\_\_\_\_  
17. Surroundings of the building:  open land  woodland  scattered outbuildings  densely built-up  commercial  
 industrial  residential  other \_\_\_\_\_  
18. Map \_\_\_\_\_ 19. Photo looking S Photographer Wirth



# Significance

(Indicate sources of information for all statements)

## 20. Architectural Significance

- a. Ames Contributing (Key structure/individually may qualify for the National Register)
- b. Ames Compatible (Contributing structure)
- c. Ames Noncontributing (Not eligible/intrusion)

This is a one-story, brick commercial building with a one-room wide facade. The width of the facade is narrower than most one-room facades in Ames. This building is associated with 108-110 and 118-122 Main Street because they presently share a common design particularly evident in the upper area of the storefronts which are all now clad with stucco and painted white. The room at 116 Main features a simple storefront with the windows and door placed slightly oblique to the facade. The rear of these buildings have recently been altered to provide secondary facades.

Because of alterations to the storefront, this building is evaluated as an intrusion in an historic commercial district.

## 21. Historical Significance

Theme(s) \_\_\_\_\_

- a. Ames Contributing (Key structure/individually may qualify for the National Register)
- b. Ames Compatible (Contributing structure)
- c. Ames Noncontributing (Not eligible/intrusion)

Sometime between 1920 and 1926, the stores at 114 and 118 appear, according to Sanborn fire insurance maps, to have been opened up into one unit.

Because of the substantial alterations to the exterior of this building, historical significance does not obtain.

## 22. Sources (for primary and secondary sources, give complete facts of publication: author, title, place of publication, date, etc.)

Prepared by William C. Page, Public Historian Date Fall 1991  
 Address 104 Southwest Fourth Street Des Moines, IA 50309 Telephone 515/280-8026  
 Organization The Dunbar/Jones Partnership

## For Office of Historic Preservation Use Only

### 1. Office Information Sources on this Property

- County Resource File \_\_\_\_\_
- Windshield Survey \_\_\_\_\_
- National Register \_\_\_\_\_
- Grants-in-Aid: \_\_\_\_\_
- Determination of Eligibility \_\_\_\_\_

### Review and Compliance Project:

- Other \_\_\_\_\_
- Other \_\_\_\_\_
- Other \_\_\_\_\_

### 2. Subject Traces

- a. \_\_\_\_\_
- b. \_\_\_\_\_
- c. \_\_\_\_\_
- d. \_\_\_\_\_
- e. \_\_\_\_\_

### 3. Photo Images \_\_\_\_\_

- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_

# Iowa Site Inventory

Bureau of Historic Preservation  
Iowa State Department of Cultural Affairs  
Capitol Complex  
Des Moines, Iowa 50319

Site Number 050  
District Name \_\_\_\_\_  
Map Reference \_\_\_\_\_

## Identification

1. Site Name COMMERCIAL BUILDING  
2. Village/Town/City AMES Township WASHINGTON County STORY  
3. Street Address 118 MAIN STREET  
4. Legal Location  
Urban: \_\_\_\_\_ subdivision \_\_\_\_\_ block \_\_\_\_\_ parcel \_\_\_\_\_ subparcel \_\_\_\_\_  
Rural: \_\_\_\_\_ township \_\_\_\_\_ range \_\_\_\_\_ section \_\_\_\_\_ 1/4 section of 1/4 section \_\_\_\_\_  
5. UTM Location: zone \_\_\_\_\_ easting \_\_\_\_\_ northing \_\_\_\_\_ ; Acreage \_\_\_\_\_  
6. Owner(s) Name \_\_\_\_\_  
7. Owner(s) Address \_\_\_\_\_  
(Street address) (City) (State) (Zip)  
8. Use: Present COMMERCIAL Original COMMERCIAL

## Description

9. Date of Construction: 1980S FACELIFT Architect/Builder \_\_\_\_\_  
10. Building Type  
 single-family dwelling  industrial  other institutional  religious  
 multiple-family dwelling  education  public  agricultural  
 commercial  
11. Exterior walls:  clapboard  stone  brick  board and batten  shingles  stucco  
 other \_\_\_\_\_  
12. Structural System:  wood frame with interlocking joints  wood frame with light members (balloon frame)  
 masonry load-bearing walls  iron frame  steel frame with curtain walls  reinforced concrete  
 other \_\_\_\_\_  
13. Condition:  excellent  good  fair  deteriorated  
14. Integrity:  original site  moved--if so, when? \_\_\_\_\_  
Notes on alterations, additions (with dates and architect, if known) and any other notable features of building and site:  
(see next page)  
15. Related Outbuildings and Property:  barn  other farm structures  carriage house  garage  privy  
 other \_\_\_\_\_  
16. Is the building endangered:  no  yes--if so, why? \_\_\_\_\_  
17. Surroundings of the building:  open land  woodland  scattered outbuildings  densely built-up  commercial  
 industrial  residential  other \_\_\_\_\_  
18. Map \_\_\_\_\_ 19. Photo looking S Photographer Wirth





# Significance

(Indicate sources of information for all statements)

## 20. Architectural Significance

- a. Ames Contributing (Key structure/individually may qualify for the National Register)
- b. Ames Compatible (Contributing structure)
- c. Ames Noncontributing (Not eligible/intrusion)

This is a one-story, brick commercial building with a one-room wide facade. The width of the facade is narrower than most one-room facades in Ames. This building is associated with 108-116 and 120-122 Main Street because they presently share a common design particularly evident in the upper area of the storefronts which are all now clad with stucco and painted white. The room at 118 Main features a simple storefront with the windows and door placed slightly oblique to the facade. The rear of these buildings have recently been altered to provide secondary facades.

Because of alterations to the storefront, this building is evaluated as an intrusion in an historic commercial district.

## 21. Historical Significance

Theme(s) \_\_\_\_\_

- a. Ames Contributing (Key structure/individually may qualify for the National Register)
- b. Ames Compatible (Contributing structure)
- c. Ames Noncontributing (Not eligible/intrusion)

Although buildings conforming to the footprint of this building have been in place since the early Twentieth Century, the recent alterations to this building preclude any claim for historical significance.

## 22. Sources (for primary and secondary sources, give complete facts of publication: author, title, place of publication, date, etc)

Prepared by William C. Page, Public Historian Date Fall 1991  
Address 104 Southwest Fourth Street Des Moines, IA 50309 Telephone 515/280-8026  
Organization The Dunbar/Jones Partnership

## For Office of Historic Preservation Use Only

### 1. Office Information Sources on this Property

- County Resource File \_\_\_\_\_
- Windshield Survey \_\_\_\_\_
- National Register \_\_\_\_\_
- Grants-in-Aid: \_\_\_\_\_
- Determination of Eligibility \_\_\_\_\_

Review and Compliance Project:

- Other \_\_\_\_\_
- Other \_\_\_\_\_
- Other \_\_\_\_\_

### 2. Subject Traces

- a. \_\_\_\_\_
- b. \_\_\_\_\_
- c. \_\_\_\_\_
- d. \_\_\_\_\_
- e. \_\_\_\_\_

### 3. Photo Images \_\_\_\_\_

- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_

# Iowa Site Inventory

Bureau of Historic Preservation  
Iowa State Department of Cultural Affairs  
Capitol Complex  
Des Moines, Iowa 50319

Site Number 051  
District Name \_\_\_\_\_  
Map Reference \_\_\_\_\_

## Identification

1. Site Name COMMERCIAL BUILDING  
2. Village/Town/City AMES Township WASHINGTON County STORY  
3. Street Address 120 MAIN STREET  
4. Legal Location \_\_\_\_\_  
Urban: \_\_\_\_\_ subdivision \_\_\_\_\_ block \_\_\_\_\_ parcel \_\_\_\_\_ subparcel \_\_\_\_\_  
Rural: \_\_\_\_\_ township \_\_\_\_\_ range \_\_\_\_\_ section \_\_\_\_\_ 1/4 section of 1/4 section \_\_\_\_\_  
5. UTM Location: zone \_\_\_\_\_ easting \_\_\_\_\_ northing \_\_\_\_\_ ; Acreage \_\_\_\_\_  
6. Owner(s) Name \_\_\_\_\_  
7. Owner(s) Address \_\_\_\_\_  
(Street address) (City) (State) (Zip)  
8. Use: Present COMMERCIAL Original COMMERCIAL

## Description

9. Date of Construction: FACELIFT 1980S Architect/Builder \_\_\_\_\_  
10. Building Type  
 single-family dwelling  industrial  other institutional  religious  
 multiple-family dwelling  education  public  agricultural  
 commercial  
11. Exterior walls:  clapboard  stone  brick  board and batten  shingles  stucco  
 other \_\_\_\_\_  
12. Structural System:  wood frame with interlocking joints  wood frame with light members (balloon frame)  
 masonry load-bearing walls  iron frame  steel frame with curtain walls  reinforced concrete  
 other \_\_\_\_\_  
13. Condition:  excellent  good  fair  deteriorated  
14. Integrity:  original site  moved--if so, when? \_\_\_\_\_  
Notes on alterations, additions (with dates and architect, if known) and any other notable features of building and site:  
\_\_\_\_\_(see next page)  
15. Related Outbuildings and Property:  barn  other farm structures  carriage house  garage  privy  
 other \_\_\_\_\_  
16. Is the building endangered:  no  yes--if so, why? \_\_\_\_\_  
17. Surroundings of the building:  open land  woodland  scattered outbuildings  densely built-up  commercial  
 industrial  residential  other \_\_\_\_\_

18. Map

19. Photo looking S Photographer Wirth



# Significance

(Indicate sources of information for all statements)

## 20. Architectural Significance

- a. Ames Contributing (Key structure/individually may qualify for the National Register)
- b. Ames Compatible (Contributing structure)
- c. Ames Noncontributing (Not eligible/intrusion)

This is a one-story, brick commercial building with a one-room wide facade. The width of the facade is narrower than most one-room facades in Ames. This building is associated with 108-118 and 122 Main Street because they presently share a common design particularly evident in the upper area of the storefronts which are all now clad with stucco and painted white. The room at 120 Main features a simple storefront with the windows and door placed slightly oblique to the facade. The rear of these buildings have recently been altered to provide secondary facades.

Because of alterations to the storefront, this building is evaluated as an intrusion in an historic commercial district.

## 21. Historical Significance

Theme(s) \_\_\_\_\_

- a. Ames Contributing (Key structure/individually may qualify for the National Register)
- b. Ames Compatible (Contributing structure)
- c. Ames Noncontributing (Not eligible/intrusion)

Although buildings conforming to the footprint of this building have been in place since the early Twentieth Century, the recent alterations to this building preclude any claim for historical significance.

## 22. Sources (for primary and secondary sources, give complete facts of publication: author, title, place of publication, date, \_\_\_\_\_)

Prepared by William C. Page, Public Historian Date Fall 1991  
 Address 104 Southwest Fourth Street Des Moines, IA 50309 Telephone 515/280-8026  
 Organization The Dunbar/Jones Partnership

## For Office of Historic Preservation Use Only

### 1. Office Information Sources on this Property

- County Resource File \_\_\_\_\_
- Windshield Survey \_\_\_\_\_
- National Register \_\_\_\_\_
- Grants-in-Aid: \_\_\_\_\_
- Determination of Eligibility \_\_\_\_\_

Review and Compliance Project:

- Other \_\_\_\_\_
- Other \_\_\_\_\_
- Other \_\_\_\_\_

### 2. Subject Traces

- a. \_\_\_\_\_
- b. \_\_\_\_\_
- c. \_\_\_\_\_
- d. \_\_\_\_\_
- e. \_\_\_\_\_

### 3. Photo Images \_\_\_\_\_

- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_

# Iowa Site Inventory

Bureau of Historic Preservation  
Iowa State Department of Cultural Affairs  
Capitol Complex  
Des Moines, Iowa 50319

Site Number 052  
District Name \_\_\_\_\_  
Map Reference \_\_\_\_\_

## Identification

1. Site Name COMMERCIAL BUILDING  
2. Village/Town/City AMES Township WASHINGTON County STORY  
3. Street Address 122 MAIN STREET  
4. Legal Location \_\_\_\_\_  
Urban: subdivision block parcel subparcel  
Rural: township range section 1/4 section of 1/4 section  
5. UTM Location: zone \_\_\_\_\_ easting \_\_\_\_\_ northing \_\_\_\_\_ ; Acreage \_\_\_\_\_  
6. Owner(s) Name \_\_\_\_\_  
7. Owner(s) Address \_\_\_\_\_  
(Street address) (City) (State) (Zip)  
8. Use: Present COMMERCIAL Original COMMERCIAL

## Description

9. Date of Construction: FACELIFT 1980S Architect/Builder \_\_\_\_\_  
10. Building Type  
 single-family dwelling  industrial  other institutional  religious  
 multiple-family dwelling  education  public  agricultural  
 commercial  
11. Exterior walls:  clapboard  stone  brick  board and batten  shingles  stucco  
 other \_\_\_\_\_  
12. Structural System:  wood frame with interlocking joints  wood frame with light members (balloon frame)  
 masonry load-bearing walls  iron frame  steel frame with curtain walls  reinforced concrete  
 other \_\_\_\_\_  
13. Condition:  excellent  good  fair  deteriorated  
14. Integrity:  original site  moved--if so, when? \_\_\_\_\_  
Notes on alterations, additions (with dates and architect, if known) and any other notable features of building and site:  
(see next page)  
15. Related Outbuildings and Property:  barn  other farm structures  carriage house  garage  privy  
 other \_\_\_\_\_  
16. Is the building endangered:  no  yes--if so, why?  
17. Surroundings of the building:  open land  woodland  scattered outbuildings  densely built-up  commercial  
 industrial  residential  other \_\_\_\_\_  
18. Map \_\_\_\_\_  
19. Photo looking S Photographer Wirth



# Significance

(Indicate sources of information for all statements)

## 20. Architectural Significance

- a. Ames Contributing (Key structure/individually may qualify for the National Register)
- b. Ames Compatible (Contributing structure)
- c. Ames Noncontributing (Not eligible/intrusion)

This is a one-story, brick commercial building with a one-room wide facade. The width of the facade is narrower than most one-room facades in Ames. This building is associated with 108-120 Main Street because they presently share a common design particularly evident in the upper area of the storefronts which are all now clad with stucco and painted white. The room at 122 Main features a simple storefront with the windows and door placed slightly oblique to the facade. The rear of these buildings have recently been altered to provide secondary facades.

Because of alterations to the storefront, this building is evaluated as an intrusion in an historic commercial district.

## 21. Historical Significance

Theme(s) \_\_\_\_\_

- a. Ames Contributing (Key structure/individually may qualify for the National Register)
- b. Ames Compatible (Contributing structure)
- c. Ames Noncontributing (Not eligible/intrusion)

Although buildings conforming to the footprint of this building have been in place since the early Twentieth Century, the recent alterations to this building preclude any claim for historical significance.

## 22. Sources (for primary and secondary sources, give complete facts of publication: author, title, place of publication, date, etc)

Prepared by William C. Page, Public Historian Date Fall 1991  
 Address 104 Southwest Fourth Street Des Moines, IA 50309 Telephone 515/280-8026  
 Organization The Dunbar/Jones Partnership

## For Office of Historic Preservation Use Only

### 1. Office Information Sources on this Property

- County Resource File \_\_\_\_\_
- Windshield Survey \_\_\_\_\_
- National Register \_\_\_\_\_
- Grants-in-Aid: \_\_\_\_\_
- Determination of Eligibility \_\_\_\_\_

### Review and Compliance Project:

- Other \_\_\_\_\_
- Other \_\_\_\_\_
- Other \_\_\_\_\_

### 2. Subject Traces

- a. \_\_\_\_\_
- b. \_\_\_\_\_
- c. \_\_\_\_\_
- d. \_\_\_\_\_
- e. \_\_\_\_\_

### 3. Photo Images \_\_\_\_\_

- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_

# Iowa Site Inventory

Bureau of Historic Preservation  
Iowa State Department of Cultural Affairs  
Capitol Complex  
Des Moines, Iowa 50319

Site Number 053  
District Name \_\_\_\_\_  
Map Reference \_\_\_\_\_

## Identification

1. Site Name COMMERCIAL BUILDING
2. Village/Town/City AMES Township WASHINGTON County STORY
3. Street Address 124 MAIN STREET
4. Legal Location  
Urban: \_\_\_\_\_ subdivision \_\_\_\_\_ block \_\_\_\_\_ parcel \_\_\_\_\_ subparcel \_\_\_\_\_  
Rural: \_\_\_\_\_ township \_\_\_\_\_ range \_\_\_\_\_ section \_\_\_\_\_ 1/4 section of 1/4 section \_\_\_\_\_
5. UTM Location: zone \_\_\_\_\_ easting \_\_\_\_\_ northing \_\_\_\_\_; Acreage \_\_\_\_\_
6. Owner(s) Name \_\_\_\_\_
7. Owner(s) Address \_\_\_\_\_  
(Street address) (City) (State) (Zip)
8. Use: Present COMMERCIAL Original COMMERCIAL

## Description

9. Date of Construction: FACELIFT 1955-1970 Architect/Builder \_\_\_\_\_
10. Building Type  
 single-family dwelling  industrial  other institutional  religious  
 multiple-family dwelling  education  public  agricultural  
 commercial
11. Exterior walls:  clapboard  stone  brick  board and batten  shingles  stucco  
 other \_\_\_\_\_
12. Structural System:  wood frame with interlocking joints  wood frame with light members (balloon frame)  
 masonry load-bearing walls  iron frame  steel frame with curtain walls  reinforced concrete  
 other \_\_\_\_\_
13. Condition:  excellent  good  fair  deteriorated
14. Integrity:  original site  moved--if so, when? \_\_\_\_\_  
Notes on alterations, additions (with dates and architect, if known) and any other notable features of building and site:  
\_\_\_\_\_  
(see next page)
15. Related Outbuildings and Property:  barn  other farm structures  carriage house  garage  privy  
 other \_\_\_\_\_
16. Is the building endangered:  no  yes--if so, why? \_\_\_\_\_
17. Surroundings of the building:  open land  woodland  scattered outbuildings  densely built-up  commercial  
 industrial  residential  other \_\_\_\_\_

## 18. Map

## 19. Photo looking S Photographer Wirth



# Significance

(Indicate sources of information for all statements)

## 20. Architectural Significance

- a. Ames Contributing (Key structure/individually may qualify for the National Register)
- b. Ames Compatible (Contributing structure)
- c. Ames Noncontributing (Not eligible/intrusion)

This is a one-story, brick commercial building with a one-room wide facade. The width of the facade is narrower than most one-room facades in Ames but similar in size with 108-122 Main Street, its commercial neighbors to the east. The facade of this building appears to have received a face lift in the late 1950s or 1960s. Brick employed in this facade is dark red and dark beige in color. The building has a cast concrete coping. Storefront windows are partially infilled. The entryway is inset into the facade on the east with a transom over the door.

Because of alterations to the storefront, this building is evaluated as an intrusion in an historic commercial district.

## 21. Historical Significance

Theme(s) \_\_\_\_\_

- a. Ames Contributing (Key structure/individually may qualify for the National Register)
- b. Ames Compatible (Contributing structure)
- c. Ames Noncontributing (Not eligible/intrusion)

Although buildings conforming to the footprint of this building have been in place since the early Twentieth Century, the recent alterations to this building preclude any claim for historical significance.

## 22. Sources (for primary and secondary sources, give complete facts of publication: author, title, place of publication, date, etc)

Prepared by William C. Page, Public Historian Date Fall 1991  
Address 104 Southwest Fourth Street Des Moines, IA 50309 Telephone 515/280-8026  
Organization The Dunbar/Jones Partnership

## For Office of Historic Preservation Use Only

### 1. Office Information Sources on this Property

- County Resource File \_\_\_\_\_
- Windshield Survey \_\_\_\_\_
- National Register \_\_\_\_\_
- Grants-in-Aid: \_\_\_\_\_
- Determination of Eligibility \_\_\_\_\_

### Review and Compliance Project

- Other \_\_\_\_\_
- Other \_\_\_\_\_
- Other \_\_\_\_\_

### 2. Subject Traces

- a. \_\_\_\_\_
- b. \_\_\_\_\_
- c. \_\_\_\_\_
- d. \_\_\_\_\_
- e. \_\_\_\_\_

### 3. Photo Images \_\_\_\_\_

- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_

# Iowa Site Inventory

Bureau of Historic Preservation  
Iowa State Department of Cultural Affairs  
Capitol Complex  
Des Moines, Iowa 50319

Site Number 054  
District Name \_\_\_\_\_  
Map Reference \_\_\_\_\_

## Identification

1. Site Name COMMERCIAL BUILDING  
2. Village/Town/City AMES Township WASHINGTON County STORY  
3. Street Address 126 MAIN STREET  
4. Legal Location \_\_\_\_\_  
Urban: subdivision block parcel subparcel  
Rural: township range section 1/4 section of 1/4 section  
5. UTM Location: zone \_\_\_\_\_ casting \_\_\_\_\_ northing \_\_\_\_\_ ; Acreage \_\_\_\_\_  
6. Owner(s) Name \_\_\_\_\_  
7. Owner(s) Address \_\_\_\_\_  
(Street address) (City) (State) (Zip)  
8. Use: Present COMMERCIAL Original COMMERCIAL

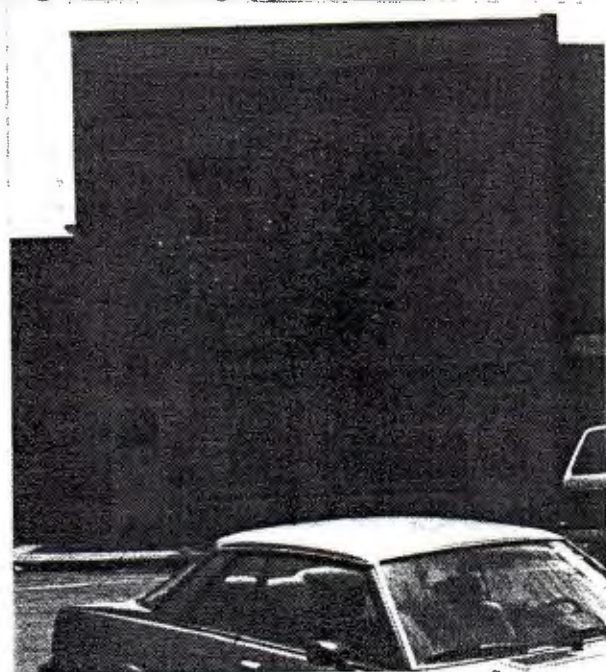
## Description

9. Date of Construction: FACELIFT 1950S Architect/Builder \_\_\_\_\_  
10. Building Type  
 single-family dwelling  industrial  other institutional  religious  
 multiple-family dwelling  education  public  agricultural  
 commercial  
11. Exterior walls:  clapboard  stone  brick  board and batten  shingles  stucco  
 other \_\_\_\_\_  
12. Structural System:  wood frame with interlocking joints  wood frame with light members (balloon frame)  
 masonry load-bearing walls  iron frame  steel frame with curtain walls  reinforced concrete  
 other \_\_\_\_\_  
13. Condition:  excellent  good  fair  deteriorated  
14. Integrity:  original site  moved--if so, when? \_\_\_\_\_  
Notes on alterations, additions (with dates and architect, if known) and any other notable features of building and site:  
(see next page)  
15. Related Outbuildings and Property:  barn  other farm structures  carriage house  garage  privy  
 other \_\_\_\_\_  
16. Is the building endangered:  no  yes--if so, why?  
17. Surroundings of the building:  open land  woodland  scattered outbuildings  densely built-up  commercial  
 industrial  residential  other \_\_\_\_\_

18. Map



19. Photo looking S Photographer Wirth





**Significance**

(Indicate sources of information for all statements)

**20. Architectural Significance**

- a. Ames Contributing (Key structure/individually may qualify for the National Register)
- b. Ames Compatible (Contributing structure)
- c. Ames Noncontributing (Not eligible/intrusion)

See continuation sheet.

**21. Historical Significance**

Theme(s) \_\_\_\_\_

- a. Ames Contributing (Key structure/individually may qualify for the National Register)
- b. Ames Compatible (Contributing structure)
- c. Ames Noncontributing (Not eligible/intrusion)

Further historical research might uncover information about this building to strengthen its architectural significance. The period of significance for historical significance must date from the face lift.

**22. Sources** (for primary and secondary sources, give complete facts of publication: author, title, place of publication, date, etc

Prepared by William C. Page, Public Historian Date Fall 1991  
 Address 104 Southwest Fourth Street Des Moines, IA 50309 Telephone 515/280-8026  
 Organization The Dunbar/Jones Partnership

**For Office of Historic Preservation Use Only**

**1. Office Information Sources on this Property**

- County Resource File \_\_\_\_\_
- Windshield Survey \_\_\_\_\_
- National Register \_\_\_\_\_
- Grants-in-Aid: \_\_\_\_\_
- Determination of Eligibility \_\_\_\_\_

**[ ] Review and Compliance Project:**

- Other \_\_\_\_\_
- Other \_\_\_\_\_
- Other \_\_\_\_\_

**2. Subject Traces**

- a. \_\_\_\_\_
- b. \_\_\_\_\_
- c. \_\_\_\_\_
- d. \_\_\_\_\_
- e. \_\_\_\_\_

**3. Photo Images** \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

# Iowa Site Inventory

Bureau of Historic Preservation  
Iowa State Department of Cultural Affairs  
Capitol Complex  
Des Moines, Iowa 50319

Site Number 054

## CONTINUATION SHEET

### Significance

#### 20. Architectural Significance

This is a two-story, brick commercial building with a one-room wide facade. The building features a creamy yellow colored brick. A brick plaque is situated above the second floor windows. Brick used in the plaque is yellow orange in color. The building is topped by a cast concrete coping. Second floor windows are 1/1 with combination aluminum storms. Lintel is brick laid in soldier course. A similar course serves as lintel above the storefront windows and doors. Sills on second floor windows appear older than the present facade and may date to the older building. A door to the second floor apartments stands on the east side of the facade.

This building appears to date from the 1950s. It is assumed that, at this time, a new brick veneer facade was placed over an earlier facade. This building relates in brick color to its neighbor across the street at 131 Main and to those buildings at 119 and 121 Main.

The earlier facade is shown in an 1907 photograph of downtown Ames. This facade had, on the second story, four bays, and a simple brick cornice. When face lifted, the new design converted the second story into two bays, disposed of the cornice, and replaced it with the plaque, an architectural feature popular into the 1950s in Ames.

Although the era of the 1950s is somewhat newer than the cut-off date for this survey (and also newer than the National Register's current 1941 arbitrary cut-off date for significance), this building should be reevaluated as a contributing resource to an historic commercial district when the date of its facade rehabilitation reaches the fifty-year mark. At present, this building is an intrusion unless criteria exceptions are claimed.

This building is, in conclusion, significant because it calls attention to the continuing influence of the commercial style of architecture into the second half of the Twentieth Century in Ames. This influence is most noticeable in the brickworked plaque area of the building, in the contrasting color of brick employed here, and the laying of brick using different bonding techniques to provide textural interest to the facade.

Although the doors and windows on the first floor appear to be replacements, this building retains high integrity from the 1950s, and the owners are encouraged to maintain the present facade intact.

# Iowa Site Inventory

Bureau of Historic Preservation  
Iowa State Department of Cultural Affairs  
Capitol Complex  
Des Moines, Iowa 50319

Site Number 055  
District Name \_\_\_\_\_  
Map Reference \_\_\_\_\_

## Identification

1. Site Name COMMERCIAL BUILDING  
2. Village/Town/City AMES Township WASHINGTON County STORY  
3. Street Address 128 MAIN STREET  
4. Legal Location  
Urban: \_\_\_\_\_ subdivision \_\_\_\_\_ block \_\_\_\_\_ parcel \_\_\_\_\_ subparcel \_\_\_\_\_  
Rural: \_\_\_\_\_ township \_\_\_\_\_ range \_\_\_\_\_ section \_\_\_\_\_ 1/4 section of 1/4 section \_\_\_\_\_  
5. UTM Location: zone \_\_\_\_\_ easting \_\_\_\_\_ northing \_\_\_\_\_; Acreage \_\_\_\_\_  
6. Owner(s) Name \_\_\_\_\_  
7. Owner(s) Address \_\_\_\_\_  
(Street address) (City) (State) (Zip)  
8. Use: Present COMMERCIAL Original COMMERCIAL

## Description

9. Date of Construction: \_\_\_\_\_ Architect/Builder \_\_\_\_\_  
10. Building Type  
 single-family dwelling  industrial  other institutional  religious  
 multiple-family dwelling  education  public  agricultural  
 commercial  
11. Exterior walls:  clapboard  stone  brick  board and batten  shingles  stucco  
 other \_\_\_\_\_  
12. Structural System:  wood frame with interlocking joints  wood frame with light members (balloon frame)  
 masonry load-bearing walls  iron frame  steel frame with curtain walls  reinforced concrete  
 other \_\_\_\_\_  
13. Condition:  excellent  good  fair  deteriorated  
14. Integrity:  original site  moved--if so, when? \_\_\_\_\_  
Notes on alterations, additions (with dates and architect, if known) and any other notable features of building and site:  
\_\_\_\_\_  
(see next page)  
15. Related Outbuildings and Property:  barn  other farm structures  carriage house  garage  privy  
 other \_\_\_\_\_  
16. Is the building endangered:  no  yes--if so, why? \_\_\_\_\_  
17. Surroundings of the building:  open land  woodland  scattered outbuildings  densely built-up  commercial  
 industrial  residential  other \_\_\_\_\_

18. Map

19. Photo looking S Photographer Wirth



# Significance

(Indicate sources of information for all statements)

## 20. Architectural Significance

- a. Ames Contributing (Key structure/individually may qualify for the National Register)
- b. Ames Compatible (Contributing structure)
- c. Ames Noncontributing (Not eligible/intrusion)

This is a two-story, brick commercial building with a one-room wide facade. The building features a facade extensively remodeled, probably in the 1960s or 1970s. The remodeling installed metal vertical siding on the storefront. The second floor was also remodeled with horizontal metal siding, inset at the base and canted outwards as it rises. Red brick walls remain as vestiges of the earlier facade on either side of the remodeling. A neon sign extends beyond the facade.

The earlier facade is shown in an 1907 photograph of downtown Ames. It had three bays on the second floor and a simple brick cornice. The first floor of this building had a ceiling considerably lower than its neighbors to the east and west which indicates, possibly, that this building dates from the 1870s and, in the 1907 photograph, already shows major alterations, particularly in the cornice area.

Because of the extensive alterations to this building, it must be considered an intrusion in an historic commercial district.

## 21. Historical Significance

Theme(s) \_\_\_\_\_

- a. Ames Contributing (Key structure/individually may qualify for the National Register)
- b. Ames Compatible (Contributing structure)
- c. Ames Noncontributing (Not eligible/intrusion)

Historical significance is not claimed. Historical significance to be relevant to this building would have to date from the period of the facelift.

## 22. Sources (for primary and secondary sources, give complete facts of publication: author, title, place of publication, date, etc.)

Prepared by William C. Page, Public Historian Date Fall 1991  
 Address 104 Southwest Fourth Street Des Moines, IA 50309 Telephone 515/280-8026  
 Organization The Dunbar/Jones Partnership

## For Office of Historic Preservation Use Only

### 1. Office Information Sources on this Property

- County Resource File \_\_\_\_\_
- Windshield Survey \_\_\_\_\_
- National Register \_\_\_\_\_
- Grants-in-Aid: \_\_\_\_\_
- Determination of Eligibility \_\_\_\_\_

Review and Compliance Project

- Other \_\_\_\_\_
- Other \_\_\_\_\_
- Other \_\_\_\_\_

### 2. Subject Traces

- a. \_\_\_\_\_
- b. \_\_\_\_\_
- c. \_\_\_\_\_
- d. \_\_\_\_\_
- e. \_\_\_\_\_

### 3. Photo Images

- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_

# Iowa Site Inventory

Bureau of Historic Preservation  
Iowa State Department of Cultural Affairs  
Capitol Complex  
Des Moines, Iowa 50319

Site Number 056  
District Name \_\_\_\_\_  
Map Reference \_\_\_\_\_

## Identification

1. Site Name COMMERCIAL BUILDING
2. Village/Town/City AMES Township WASHINGTON County STORY
3. Street Address 130 MAIN STREET
4. Legal Location \_\_\_\_\_  
Urban: \_\_\_\_\_ subdivision \_\_\_\_\_ block \_\_\_\_\_ parcel \_\_\_\_\_ subparcel \_\_\_\_\_  
Rural: \_\_\_\_\_ township \_\_\_\_\_ range \_\_\_\_\_ section \_\_\_\_\_ 1/4 section of 1/4 section \_\_\_\_\_
5. UTM Location: zone \_\_\_\_\_ easting \_\_\_\_\_ northing \_\_\_\_\_; Acreage \_\_\_\_\_
6. Owner(s) Name \_\_\_\_\_
7. Owner(s) Address \_\_\_\_\_  
(Street address) (City) (State) (Zip)
8. Use: Present COMMERCIAL Original COMMERCIAL

## Description

9. Date of Construction: FACELIFT C. 1920 Architect/Builder \_\_\_\_\_
10. Building Type  
 single-family dwelling  industrial  other institutional  religious  
 multiple-family dwelling  education  public  agricultural  
 commercial
11. Exterior walls:  clapboard  stone  brick  board and batten  shingles  stucco  
 other \_\_\_\_\_
12. Structural System:  wood frame with interlocking joints  wood frame with light members (balloon frame)  
 masonry load-bearing walls  iron frame  steel frame with curtain walls  reinforced concrete  
 other \_\_\_\_\_
13. Condition:  excellent  good  fair  deteriorated
14. Integrity:  original site  moved--if so, when? \_\_\_\_\_  
Notes on alterations, additions (with dates and architect, if known) and any other notable features of building and site:  
\_\_\_\_\_  
(see next page)
15. Related Outbuildings and Property:  barn  other farm structures  carriage house  garage  privy  
 other \_\_\_\_\_
16. Is the building endangered:  no  yes--if so, why? \_\_\_\_\_
17. Surroundings of the building:  open land  woodland  scattered outbuildings  densely built-up  commercial  
 industrial  residential  other \_\_\_\_\_
18. Map \_\_\_\_\_
19. Photo looking S Photographer Wirth



**Significance**

(Indicate sources of information for all statements)

**20. Architectural Significance**

- a. Ames Contributing (Key structure/individually may qualify for the National Register)
- b. Ames Compatible (Contributing structure)
- c. Ames Noncontributing (Not eligible/intrusion)

See continuation sheet.

**21. Historical Significance**

Theme(s) \_\_\_\_\_

- a. Ames Contributing (Key structure/individually may qualify for the National Register)
- b. Ames Compatible (Contributing structure)
- c. Ames Noncontributing (Not eligible/intrusion)

In 1926 Best Electric Company occupied this building (ADT, January 12, 1926, page 7 advertisement). Historical significance is not currently claimed for this building, but further research might indicate an opportunity for this claim.

**22. Sources** (for primary and secondary sources, give complete facts of publication: author, title, place of publication, date, etc)

Prepared by William C. Page, Public Historian Date Fall 1991  
 Address 104 Southwest Fourth Street Des Moines, IA 50309 Telephone 515/280-8026  
 Organization The Dunbar/Jones Partnership

**For Office of Historic Preservation Use Only**

**1. Office Information Sources on this Property**

- County Resource File \_\_\_\_\_
- Windshield Survey \_\_\_\_\_
- National Register \_\_\_\_\_
- Grants-in-Aid: \_\_\_\_\_
- Determination of Eligibility \_\_\_\_\_

**[ ] Review and Compliance Project:**

- Other \_\_\_\_\_
- Other \_\_\_\_\_
- Other \_\_\_\_\_

**2. Subject Traces**

- a. \_\_\_\_\_
- b. \_\_\_\_\_
- c. \_\_\_\_\_
- d. \_\_\_\_\_
- e. \_\_\_\_\_

**3. Photo Images** \_\_\_\_\_

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# Iowa Site Inventory

Bureau of Historic Preservation  
Iowa State Department of Cultural Affairs  
Capitol Complex  
Des Moines, Iowa 50319

Site Number 056

## CONTINUATION SHEET

### Significance

#### 20. Architectural Significance

This is a two-story, brick commercial building with a one-room wide facade. The building features dark orange colored brick. There is a double plaque above the second story windows. These plaques are defined by dark red brick, which outlines them. The second story has three windows with segmental arches worked in brick. Windows have cast concrete sills. Windows themselves are new installations having one pane. The first floor storefront has been greatly altered with vertical wood siding and new aluminum windows and doors.

An earlier facade on this building is shown in an 1907 photograph of downtown Ames. This facade featured four bays on the second floor, windows with hood molds, and a cornice worked in brick. This building was facelifted circa 1920. Although the alterations, mentioned above, were profound, the new design retained the building's general configuration, including the four bays on the second floor and the building's height, higher than its neighbor to the east and lower than its neighbor to the west. The employment of a double plaque design is unusual in Ames.

This building is evaluated for significance from the facelift period because this facade is the image which the building presents to the view. The building is significant in this regard because its new design shows the influence of the commercial style of architecture and because the building graphically shows how an earlier design was altered to reflect new tastes.

The original second floor windows have been replaced by single pane windows, and these alterations detract from the integrity of the facelifted design. Although the first floor storefront has been altered with a new door and windows, the original cavities remain intact, including the transom area. Original glass, perhaps of the Luxfer type, may remain behind the paneled-over transom area.

The preservation of this building and the return of the second floor windows to their facelifted configuration is encouraged. The building could become a compatible/contributing building in an historic district depending on the question of the second floor windows.

# Iowa Site Inventory

Bureau of Historic Preservation  
Iowa State Department of Cultural Affairs  
Capitol Complex  
Des Moines, Iowa 50319

Site Number 057  
District Name \_\_\_\_\_  
Map Reference \_\_\_\_\_

## Identification

1. Site Name COMMERCIAL BUILDING
2. Village/Town/City AMES Township WASHINGTON County STORY
3. Street Address 132-134 MAIN STREET
4. Legal Location \_\_\_\_\_  
Urban: \_\_\_\_\_ subdivision \_\_\_\_\_ block \_\_\_\_\_ parcel \_\_\_\_\_ subparcel \_\_\_\_\_  
Rural: \_\_\_\_\_ township \_\_\_\_\_ range \_\_\_\_\_ section \_\_\_\_\_ 1/4 section of 1/4 section \_\_\_\_\_
5. UTM Location: zone \_\_\_\_\_ easting \_\_\_\_\_ northing \_\_\_\_\_; Acreage \_\_\_\_\_
6. Owner(s) Name \_\_\_\_\_
7. Owner(s) Address \_\_\_\_\_  
(Street address) (City) (State) (Zip)
8. Use: Present COMMERCIAL Original COMMERCIAL

## Description

9. Date of Construction: FACELIFT C. 1927 Architect/Builder \_\_\_\_\_
10. Building Type  
 single-family dwelling  industrial  other institutional  religious  
 multiple-family dwelling  education  public  agricultural  
 commercial
11. Exterior walls:  clapboard  stone  brick  board and batten  shingles  stucco  
 other \_\_\_\_\_
12. Structural System:  wood frame with interlocking joints  wood frame with light members (balloon frame)  
 masonry load-bearing walls  iron frame  steel frame with curtain walls  reinforced concrete  
 other \_\_\_\_\_
13. Condition:  excellent  good  fair  deteriorated
14. Integrity:  original site  moved--if so, when? \_\_\_\_\_  
Notes on alterations, additions (with dates and architect, if known) and any other notable features of building and site:  
\_\_\_\_\_(see next page)
15. Related Outbuildings and Property:  barn  other farm structures  carriage house  garage  privy  
 other \_\_\_\_\_
16. Is the building endangered:  no  yes--if so, why? \_\_\_\_\_
17. Surroundings of the building:  open land  woodland  scattered outbuildings  densely built-up  commercial  
 industrial  residential  other \_\_\_\_\_

18. Map

19. Photo looking S Photographer Wirth





**Significance**

(Indicate sources of information for all statements)

**20. Architectural Significance**

- a. Ames Contributing (Key structure/individually may qualify for the National Register)
- b. Ames Compatible (Contributing structure)
- c. Ames Noncontributing (Not eligible/intrusion)

This is a two-story, brick commercial building with a two-room wide facade. An old building already in place in 1900, it was face lifted to update its appearance. The building relates to 136 Main, its neighbor to the west. It features, in this regard, a plaque and window sills and lintels extended across the entire facade as stringcourses. The building also has a rudimentary cornice worked in brick. The 1/1 double hung sash type windows at 134 appear to be original to the face lift and correspond to those at 136. The windows at 132 have been infilled and this detracts from the total composition. The entire 132-134 building has been painted. This greatly distracts from the building's appeal because the original color of the brick was probably variagated and an important aspect of the facade's design.

Although the store front area of this building has been altered and infilled, these alterations have respected the original space of the face lifted building and appear to be reversible.

This building is significant because it calls attention to the Face Lifts on Main movement in Ames. It should perhaps be evaluated as two buildings.

**21. Historical Significance**

Theme(s) \_\_\_\_\_

- a. Ames Contributing (Key structure/individually may qualify for the National Register)
- b. Ames Compatible (Contributing structure)
- c. Ames Noncontributing (Not eligible/intrusion)

Further historical research might uncover information which would make an historical evaluation possible.

**22. Sources** (for primary and secondary sources, give complete facts of publication: author, title, place of publication, date, ...)

Prepared by William C. Page, Public Historian Date Fall 1991  
 Address 104 Southwest Fourth Street Des Moines, IA 50309 Telephone 515/280-8026  
 Organization The Dunbar/Jones Partnership

**For Office of Historic Preservation Use Only**

**1. Office Information Sources on this Property**

- County Resource File \_\_\_\_\_
- Windshield Survey \_\_\_\_\_
- National Register \_\_\_\_\_
- Grants-in-Aid: \_\_\_\_\_
- Determination of Eligibility \_\_\_\_\_

**[ ] Review and Compliance Project:**

- Other \_\_\_\_\_
- Other \_\_\_\_\_
- Other \_\_\_\_\_

**2. Subject Traces**

- a. \_\_\_\_\_
- b. \_\_\_\_\_
- c. \_\_\_\_\_
- d. \_\_\_\_\_
- e. \_\_\_\_\_

**3. Photo Images** \_\_\_\_\_

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# Iowa Site Inventory

Bureau of Historic Preservation  
Iowa State Department of Cultural Affairs  
Capitol Complex  
Des Moines, Iowa 50319

Site Number 058  
District Name \_\_\_\_\_  
Map Reference \_\_\_\_\_

## Identification

1. Site Name COMMERCIAL BUILDING
2. Village/Town/City AMES Township WASHINGTON County STORY
3. Street Address 136 MAIN STREET
4. Legal Location  
Urban: \_\_\_\_\_ subdivision \_\_\_\_\_ block \_\_\_\_\_ parcel \_\_\_\_\_ subparcel \_\_\_\_\_  
Rural: \_\_\_\_\_ township \_\_\_\_\_ range \_\_\_\_\_ section \_\_\_\_\_ 1/4 section of 1/4 section \_\_\_\_\_
5. UTM Location: zone \_\_\_\_\_ easting \_\_\_\_\_ northing \_\_\_\_\_ ; Acreage \_\_\_\_\_
6. Owner(s) Name \_\_\_\_\_
7. Owner(s) Address \_\_\_\_\_  
(Street address) (City) (State) (Zip)
8. Use: Present COMMERCIAL Original COMMERCIAL

## Description

9. Date of Construction: C. 1927 Architect/Builder \_\_\_\_\_
10. Building Type  
 single-family dwelling  industrial  other institutional  religious  
 multiple-family dwelling  education  public  agricultural  
 commercial
11. Exterior walls:  clapboard  stone  brick  board and batten  shingles  stucco  
 other \_\_\_\_\_
12. Structural System:  wood frame with interlocking joints  wood frame with light members (balloon frame)  
 masonry load-bearing walls  iron frame  steel frame with curtain walls  reinforced concrete  
 other \_\_\_\_\_
13. Condition:  excellent  good  fair  deteriorated
14. Integrity:  original site  moved--if so, when? \_\_\_\_\_  
Notes on alterations, additions (with dates and architect, if known) and any other notable features of building and site:  
\_\_\_\_\_  
(see next page)
15. Related Outbuildings and Property:  barn  other farm structures  carriage house  garage  privy  
 other \_\_\_\_\_
16. Is the building endangered:  no  yes--if so, why? \_\_\_\_\_
17. Surroundings of the building:  open land  woodland  scattered outbuildings  densely built-up  commercial  
 industrial  residential  other \_\_\_\_\_
18. Map \_\_\_\_\_
19. Photo looking S Photographer Wirth



# Significance

(Indicate sources of information for all statements)

## 20. Architectural Significance

- a. Ames Contributing (Key structure/individually may qualify for the National Register)
- b. Ames Compatible (Contributing structure)
- c. Ames Noncontributing (Not eligible/intrusion)

This is a two-story, brick commercial building with a one-room wide facade. It features beige and light brown textured brick for the body of the facade and maroon colored brick for trimwork. Trim comprises a plaque and window sills and lintels on the second floor which are extended as stringcourses across the entire facade of the building. These windows are 1/1 double hung sash type with the wood trim painted same color as the brick trim, which works to the building's benefit. The building also features a rudimentary, brickworked cornice. The first floor has black Carrara type glass storefront trimmed with greenish cream colored glass bands. One end of this window is semi-circular and adds a strong streamlined note to the building. In the transom area, glass is also worked in x shaped patterns. Although the bulkhead of the storefront is now covered in vertical wood siding and distracts from the clean, hard look of the glass, it might possibly cover more compatible material.

This building appears to have been face lifted circa 1927 and, possibly later, the black glass storefront added. The building is significant because it calls attention to the Face Lifts on Main movement in Ames. The building's integrity is outstanding. The building obtains additional significance because the first floor is a rare example in Ames of the use of a glass storefront and interjects a strong note of elegance into Main Street which, generally, prided itself on its no-nonsense, utilitarian approach to architecture.

## 21. Historical Significance

Theme(s) \_\_\_\_\_

- a. Ames Contributing (Key structure/individually may qualify for the National Register)
- b. Ames Compatible (Contributing structure)
- c. Ames Noncontributing (Not eligible/intrusion)

In 1926 this building housed a bake shop. The glass storefront (which appears to date from the 1930s) calls attention to Ames' sound economy even during the lean years of the Great Depression.

## 22. Sources (for primary and secondary sources, give complete facts of publication: author, title, place of publication, date, etc)

Prepared by William C. Page, Public Historian Date Fall 1991  
 Address 104 Southwest Fourth Street Des Moines, IA 50309 Telephone 515/280-8026  
 Organization The Dunbar/Jones Partnership

## For Office of Historic Preservation Use Only

### 1. Office Information Sources on this Property

- County Resource File \_\_\_\_\_
- Windshield Survey \_\_\_\_\_
- National Register \_\_\_\_\_
- Grants-in-Aid: \_\_\_\_\_
- Determination of Eligibility \_\_\_\_\_

### Review and Compliance Project:

- Other \_\_\_\_\_
- Other \_\_\_\_\_
- Other \_\_\_\_\_

### 2. Subject Traces

- a. \_\_\_\_\_
- b. \_\_\_\_\_
- c. \_\_\_\_\_
- d. \_\_\_\_\_
- e. \_\_\_\_\_

### 3. Photo Images \_\_\_\_\_

- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_

# Iowa Site Inventory

Bureau of Historic Preservation  
Iowa State Department of Cultural Affairs  
Capitol Complex  
Des Moines, Iowa 50319

Site Number 059  
District Name \_\_\_\_\_  
Map Reference \_\_\_\_\_

## Identification

1. Site Name COMMERCIAL BUILDING  
2. Village/Town/City AMES Township WASHINGTON County STORY  
3. Street Address 200 MAIN STREET  
4. Legal Location \_\_\_\_\_  
Urban: subdivision block parcel subparcel  
Rural: township range section 1/4 section of 1/4 section  
5. UTM Location: zone \_\_\_\_\_ easting \_\_\_\_\_ northing \_\_\_\_\_ ; Acreage \_\_\_\_\_  
6. Owner(s) Name \_\_\_\_\_  
7. Owner(s) Address \_\_\_\_\_  
(Street address) (City) (State) (Zip)  
8. Use: Present COMMERCIAL Original COMMERCIAL

## Description

9. Date of Construction: FACELIFT C. 1958 Architect/Builder \_\_\_\_\_  
10. Building Type  
 single-family dwelling  industrial  other institutional  religious  
 multiple-family dwelling  education  public  agricultural  
 commercial  
11. Exterior walls:  clapboard  stone  brick  board and batten  shingles  stucco  
 other \_\_\_\_\_  
12. Structural System:  wood frame with interlocking joints  wood frame with light members (balloon frame)  
 masonry load-bearing walls  iron frame  steel frame with curtain walls  reinforced concrete  
 other \_\_\_\_\_  
13. Condition:  excellent  good  fair  deteriorated  
14. Integrity:  original site  moved--if so, when? \_\_\_\_\_  
Notes on alterations, additions (with dates and architect, if known) and any other notable features of building and site:  
\_\_\_\_\_(see next page)  
15. Related Outbuildings and Property:  barn  other farm structures  carriage house  garage  privy  
 other \_\_\_\_\_  
16. Is the building endangered:  no  yes--if so, why? \_\_\_\_\_  
17. Surroundings of the building:  open land  woodland  scattered outbuildings  densely built-up  commercial  
 industrial  residential  other \_\_\_\_\_

18. Map

19. Photo looking S Photographer Wirth



# Significance

(Indicate sources of information for all statements)

## 20. Architectural Significance

- a. Ames Contributing (Key structure/individually may qualify for the National Register)
- b. Ames Compatible (Contributing structure)
- c. Ames Noncontributing (Not eligible/intrusion)

This is a two-story, brick commercial building with a one-room wide facade. The building features a name plaque of cast concrete impressed with "P. Frango Bldg". The building also has cast concrete corner decorations and parapet cap. It features red and yellow brick. The crank-out windows on the second floor are commercial style of metal construction and have cast concrete sills. Although the storefront of this building has been altered with vertical wood siding, it respects the space of the building's original storefront cavity.

This building is significant because it calls attention to the Faces Lifts on Main movement, which transformed the Ames central business district prior to World War II. The P. Frango Building is a late example of this phenomenon. Also significant about this building is a higher level of architectural detail than is usually found in face lifted buildings. The cast concrete details are cases in point, as are the second floor windows. These suggest that this building is architect designed--possibly a professional associated with Iowa State. If an architect could be identified for this building who was associated with Iowa State, this building would also be a fine example of the historic context "Ames Applies Science and Technology."

## 21. Historical Significance

Theme(s) \_\_\_\_\_

- a. Ames Contributing (Key structure/individually may qualify for the National Register)
- b. Ames Compatible (Contributing structure)
- c. Ames Noncontributing (Not eligible/intrusion)

Further information about Frango might strengthen the historical significance of this building. At present it is not evaluated in this regard.

Note concerning 204-206 Main Street (now a park): In the 1940s this space was occupied by Grant W. Dudgeon's jewelry business. Established in 1929, this business was successful and Dudgeon opened a second store. Dudgeon had worked in his father's jewelry business in Ames between 1919-1929. Dudgeon served at one time as vice president of the National Jewelers Association.

## 22. Sources (for primary and secondary sources, give complete facts of publication: author, title, place of publication, date, etc)

Prepared by William C. Page, Public Historian Date Fall 1991  
 Address 104 Southwest Fourth Street Des Moines, IA 50309 Telephone 515/280-8026  
 Organization The Dunbar/Jones Partnership

## For Office of Historic Preservation Use Only

### 1. Office Information Sources on this Property

- County Resource File \_\_\_\_\_
- Windshield Survey \_\_\_\_\_
- National Register \_\_\_\_\_
- Grants-in-Aid: \_\_\_\_\_
- Determination of Eligibility \_\_\_\_\_

### Review and Compliance Project:

- Other \_\_\_\_\_
- Other \_\_\_\_\_
- Other \_\_\_\_\_

### 2. Subject Traces

- a. \_\_\_\_\_
- b. \_\_\_\_\_
- c. \_\_\_\_\_
- d. \_\_\_\_\_
- e. \_\_\_\_\_

### 3. Photo Images \_\_\_\_\_

- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_

# Iowa Site Inventory

Bureau of Historic Preservation  
Iowa State Department of Cultural Affairs  
Capitol Complex  
Des Moines, Iowa 50319

Site Number 061  
District Name \_\_\_\_\_  
Map Reference \_\_\_\_\_

## Identification

1. Site Name COMMERCIAL BUILDING
2. Village/Town/City AMES Township WASHINGTON County STORY
3. Street Address 208 MAIN STREET
4. Legal Location:  

Urban:	subdivision	block	parcel	subparcel
Rural:	township	range	section	1/4 section of 1/4 section
5. UTM Location: zone \_\_\_\_\_ easting \_\_\_\_\_ northing \_\_\_\_\_ ; Acreage \_\_\_\_\_
6. Owner(s) Name \_\_\_\_\_
7. Owner(s) Address \_\_\_\_\_  
(Street address) (City) (State) (Zip)
8. Use: Present COMMERCIAL Original COMMERCIAL

## Description

9. Date of Construction: FACELIFT C. 1935 Architect/Builder \_\_\_\_\_
10. Building Type  
 single-family dwelling  industrial  other institutional  religious  
 multiple-family dwelling  education  public  agricultural  
 commercial
11. Exterior walls:  clapboard  stone  brick  board and batten  shingles  stucco  
 other \_\_\_\_\_
12. Structural System:  wood frame with interlocking joints  wood frame with light members (balloon frame)  
 masonry load-bearing walls  iron frame  steel frame with curtain walls  reinforced concrete  
 other \_\_\_\_\_
13. Condition:  excellent  good  fair  deteriorated
14. Integrity:  original site  moved--if so, when? \_\_\_\_\_  
Notes on alterations, additions (with dates and architect, if known) and any other notable features of building and site:  
\_\_\_\_\_  
(see next page)
15. Related Outbuildings and Property:  barn  other farm structures  carriage house  garage  privy  
 other \_\_\_\_\_
16. Is the building endangered:  no  yes--if so, why? \_\_\_\_\_
17. Surroundings of the building:  open land  woodland  scattered outbuildings  densely built-up  commercial  
 industrial  residential  other \_\_\_\_\_
18. Map \_\_\_\_\_
19. Photo looking S Photographer Wirth



# Significance

(Indicate sources of information for all statements)

## 20. Architectural Significance

- a. Ames Contributing (Key structure/individually may qualify for the National Register)
- b. Ames Compatible (Contributing structure)
- c. Ames Noncontributing (Not eligible/intrusion)

This is a two-story, brick commercial building with a two-room wide facade. The building is associated with 210 Main Street. These buildings were originally designed as a commercial block with a central doorway on the street accessing the second floor. The west room (number 210 Main) is pictured in a 1907 photograph of the area. Sometime circa 1935, possibly later, both these buildings were face lifted. The building at 208 now features bricks of red, purple red, and tawny yellow. There is a stringcourse situated above the second floor windows and laid in a solid course. Two other courses are situated above this and define a rudimentary plaque area. Brick is laid in a basketweave pattern above this and near the tile coping which caps the parapet. The 2/2 double hung windows on the second floor may or may not be original to the face lift.

This building is significant because it calls attention to the Face Lifts on Main movement, popular in Ames until World War II. The buildings at 208 and 210 are additionally significant because, beginning life in the Nineteenth Century as a commercial block of 2 rooms, these buildings also were face lifted at the same time and show a continuity of architectural detail. We can only speculate why the owner or owners of the buildings chose such different colored brick for the face lift improvement.

## 21. Historical Significance

Theme(s) \_\_\_\_\_

- a. Ames Contributing (Key structure/individually may qualify for the National Register)
- b. Ames Compatible (Contributing structure)
- c. Ames Noncontributing (Not eligible/intrusion)

Additional research might provide information to help evaluate the historical significance of this building. It is not evaluated at this time.

## 22. Sources (for primary and secondary sources, give complete facts of publication: author, title, place of publication, date, )

Prepared by William C. Page, Public Historian Date Fall 1991  
 Address 104 Southwest Fourth Street Des Moines, IA 50309 Telephone 515/280-8026  
 Organization The Dunbar/Jones Partnership

## For Office of Historic Preservation Use Only

### 1. Office Information Sources on this Property

- County Resource File \_\_\_\_\_
- Windshield Survey \_\_\_\_\_
- National Register \_\_\_\_\_
- Grants-in-Aid: \_\_\_\_\_
- Determination of Eligibility \_\_\_\_\_

### [ ] Review and Compliance Project:

- Other \_\_\_\_\_
- Other \_\_\_\_\_
- Other \_\_\_\_\_

### 2. Subject Traces

- a. \_\_\_\_\_
- b. \_\_\_\_\_
- c. \_\_\_\_\_
- d. \_\_\_\_\_
- e. \_\_\_\_\_

### 3. Photo Images \_\_\_\_\_

- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_

# Iowa Site Inventory

Bureau of Historic Preservation  
Iowa State Department of Cultural Affairs  
Capitol Complex  
Des Moines, Iowa 50319

Site Number 062  
District Name \_\_\_\_\_  
Map Reference \_\_\_\_\_

## Identification

1. Site Name COMMERCIAL BUILDING
2. Village/Town/City AMES Township WASHINGTON County STORY
3. Street Address 210 MAIN STREET
4. Legal Location  
Urban: \_\_\_\_\_ subdivision \_\_\_\_\_ block \_\_\_\_\_ parcel \_\_\_\_\_ subparcel \_\_\_\_\_  
Rural: \_\_\_\_\_ township \_\_\_\_\_ range \_\_\_\_\_ section \_\_\_\_\_ 1/4 section of 1/4 section \_\_\_\_\_
5. UTM Location: zone \_\_\_\_\_ easting \_\_\_\_\_ northing \_\_\_\_\_ ; Acreage \_\_\_\_\_
6. Owner(s) Name \_\_\_\_\_
7. Owner(s) Address: \_\_\_\_\_  
(Street address) (City) (State) (Zip)
8. Use: Present COMMERCIAL Original COMMERCIAL

## Description

9. Date of Construction: FACELIFT C. 1930 Architect/Builder \_\_\_\_\_
10. Building Type  
 single-family dwelling  industrial  other institutional  religious  
 multiple-family dwelling  education  public  agricultural  
 commercial
11. Exterior walls:  clapboard  stone  brick  board and batten  shingles  stucco  
 other \_\_\_\_\_
12. Structural System:  wood frame with interlocking joints  wood frame with light members (balloon frame)  
 masonry load-bearing walls  iron frame  steel frame with curtain walls  reinforced concrete  
 other \_\_\_\_\_
13. Condition:  excellent  good  fair  deteriorated
14. Integrity:  original site  moved--if so, when? \_\_\_\_\_  
Notes on alterations, additions (with dates and architect, if known) and any other notable features of building and site:  
\_\_\_\_\_  
(see next page)
15. Related Outbuildings and Property:  barn  other farm structures  carriage house  garage  privy  
 other \_\_\_\_\_
16. Is the building endangered:  no  yes--if so, why? \_\_\_\_\_
17. Surroundings of the building:  open land  woodland  scattered outbuildings  densely built-up  commercial  
 industrial  residential  other \_\_\_\_\_
18. Map \_\_\_\_\_
19. Photo looking S Photographer Wirth





# Significance

(Indicate sources of information for all statements)

## 20. Architectural Significance

- a. Ames Contributing (Key structure/individually may qualify for the National Register)
- b. Ames Compatible (Contributing structure)
- c. Ames Noncontributing (Not eligible/intrusion)

This is a two-story, brick commercial building with a two-room wide facade. The building is associated with 208 Main Street. These buildings were originally designed as a commercial block with a central doorway on the street accessing the second floor. The west room (number 210 Main) is pictured in a 1907 photograph of the area. Sometime circa 1935, possibly later, both these buildings were face lifted. The building at 210 now features bricks of red, dark red, and tawny yellow. There is a stringcourse situated above the second floor windows and laid in a solid course. Two other courses are situated above this and define a rudimentary plaque area. Brick is laid in a basketweave pattern above this and near the tile coping which caps the parapet. The 2/2 double hung windows on the second floor may or may not be original to the face lift.

This building is significant because it calls attention to the Face Lifts on Main movement, popular in Ames until World War II. The buildings at 208 and 210 are additionally significant because, beginning life in the Nineteenth Century as a commercial block of 2 rooms, these buildings also were face lifted at the same time and show a continuity of architectural detail. We can only speculate why the owner or owners of the buildings chose such different colored brick for the face lift improvement.

## 21. Historical Significance

Theme(s) \_\_\_\_\_

- a. Ames Contributing (Key structure/individually may qualify for the National Register)
- b. Ames Compatible (Contributing structure)
- c. Ames Noncontributing (Not eligible/intrusion)

Additional research might provide more information and help evaluate the historical significance of the building. It is not evaluated at this time.

## 22. Sources (for primary and secondary sources, give complete facts of publication: author, title, place of publication, date, etc.)

Prepared by William C. Page, Public Historian Date Fall 1991  
 Address 104 Southwest Fourth Street Des Moines, IA 50309 Telephone 515/280-8026  
 Organization The Dunbar/Jones Partnership

## For Office of Historic Preservation Use Only

### 1. Office Information Sources on this Property

- County Resource File \_\_\_\_\_
- Windshield Survey \_\_\_\_\_
- National Register \_\_\_\_\_
- Grants-in-Aid: \_\_\_\_\_
- Determination of Eligibility \_\_\_\_\_

Review and Compliance Project:

- Other \_\_\_\_\_
- Other \_\_\_\_\_
- Other \_\_\_\_\_

### 2. Subject Traces

- a. \_\_\_\_\_
- b. \_\_\_\_\_
- c. \_\_\_\_\_
- d. \_\_\_\_\_
- e. \_\_\_\_\_

### 3. Photo Images \_\_\_\_\_

- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_

# Iowa Site Inventory

Bureau of Historic Preservation  
Iowa State Department of Cultural Affairs  
Capitol Complex  
Des Moines, Iowa 50319

Site Number 063  
District Name \_\_\_\_\_  
Map Reference \_\_\_\_\_

## Identification

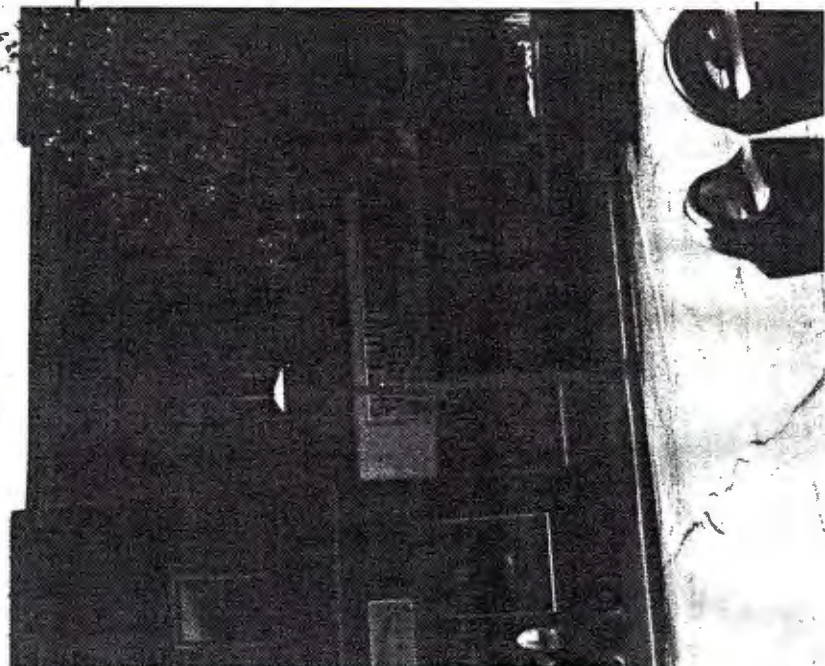
1. Site Name COMMERCIAL BUILDING  
2. Village/Town/City AMES Township WASHINGTON County STORY  
3. Street Address 212 MAIN STREET  
4. Legal Location \_\_\_\_\_  
Urban: subdivision block parcel subparcel  
Rural: township range section 1/4 section of 1/4 section  
5. UTM Location: zone \_\_\_\_\_ easting \_\_\_\_\_ northing \_\_\_\_\_; Acreage \_\_\_\_\_  
6. Owner(s) Name \_\_\_\_\_  
7. Owner(s) Address \_\_\_\_\_  
(Street address) (City) (State) (Zip)  
8. Use: Present COMMERCIAL Original COMMERCIAL

## Description

9. Date of Construction: PRIOR TO 1896\* Architect/Builder \_\_\_\_\_  
10. Building Type 1882 on abstract  
 single-family dwelling  industrial  other institutional  religious  
 multiple-family dwelling  education  public  agricultural  
 commercial  
11. Exterior walls:  clapboard  stone  brick  board and batten  shingles  stucco  
 other \_\_\_\_\_  
12. Structural System:  wood frame with interlocking joints  wood frame with light members (balloon frame)  
 masonry load-bearing walls  iron frame  steel frame with curtain walls  reinforced concrete  
 other \_\_\_\_\_  
13. Condition:  excellent  good  fair  deteriorated  
14. Integrity:  original site  moved--if so, when? \_\_\_\_\_  
Notes on alterations, additions (with dates and architect, if known) and any other notable features of building and site:  
(see next page)  
15. Related Outbuildings and Property:  barn  other farm structures  carriage house  garage  privy  
 other \_\_\_\_\_  
16. Is the building endangered:  no  yes--if so, why? \_\_\_\_\_  
17. Surroundings of the building:  open land  woodland  scattered outbuildings  densely built-up  commercial  
 industrial  residential  other \_\_\_\_\_

## 18. Map

## 19. Photo looking S Photographer Wirth



# Significance

(Indicate sources of information for all statements)

## 20. Architectural Significance

- a. Ames Contributing (Key structure/individually may qualify for the National Register)
- b. Ames Compatible (Contributing structure)
- c. Ames Noncontributing (Not eligible/intrusion)

This is a two-story, brick commercial building with a one-room wide facade. Built according to fire insurance maps prior to 1896, this building appears in a 1907 photograph of downtown Ames. As such, it is associated in style with its neighbor to the west 214 Main. Although 214 was remodeled, the building at 212 retains much of its Victorian architectural detail. This includes a series of three paired arches worked in brick over a wide brick arch, which is situated over the second floor windows. These windows have segmental hold molds and feature original 2/2 double hung sash with stone or cast concrete sills. Although the first story portion of the building has been radically altered, it was done by reducing its height rather than extending it upwards. About half-a-dozen brick courses have infilled this area. Sometime during the building's history, a high and unusual brick and pressed metal cornice was removed. Evident in the 1907 photograph already mentioned, 212 had this feature while it was lacking at that time (if it was ever built) on 214. The absence of this cornice impacts the integrity of this building as an example of late Victorian commercial architecture in Ames.

This building calls attention to the first generation of permanent commercial buildings in Ames and, as such, does not relate to the influence of the commercial style of architecture in Ames. As a result, this building would be intrusive in an historic commercial district which derived significance from the commercial style.

## 21. Historical Significance

Theme(s) \_\_\_\_\_

- a. Ames Contributing (Key structure/individually may qualify for the National Register)
- b. Ames Compatible (Contributing structure)
- c. Ames Noncontributing (Not eligible/intrusion)

In 1927 Smith Jewelry occupied this building having relocated here from 224 Main Street. More historical research is needed for this building. It may call attention to a commercial activity which would relate to the Progressive Era in Ames and, as such, contribute to an historic commercial district connected with that period.

## 22. Sources (for primary and secondary sources, give complete facts of publication: author, title, place of publication, date, etc

\* Sanborn fire insurance map, 1896.

Prepared by William C. Page, Public Historian Date Fall 1991  
 Address 104 Southwest Fourth Street Des Moines, IA 50309 Telephone 515/280-8026  
 Organization The Dunbar/Jones Partnership

## For Office of Historic Preservation Use Only

### 1. Office Information Sources on this Property

- County Resource File \_\_\_\_\_
- Windshield Survey \_\_\_\_\_
- National Register \_\_\_\_\_
- Grants-in-Aid: \_\_\_\_\_
- Determination of Eligibility \_\_\_\_\_

### Review and Compliance Project:

- Other \_\_\_\_\_
- Other \_\_\_\_\_
- Other \_\_\_\_\_

### 2. Subject Traces

- a. \_\_\_\_\_
- b. \_\_\_\_\_
- c. \_\_\_\_\_
- d. \_\_\_\_\_

### 3. Photo Images \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

# Iowa Site Inventory

Bureau of Historic Preservation  
Iowa State Department of Cultural Affairs  
Capitol Complex  
Des Moines, Iowa 50319

Site Number 064  
District Name \_\_\_\_\_  
Map Reference \_\_\_\_\_

## Identification

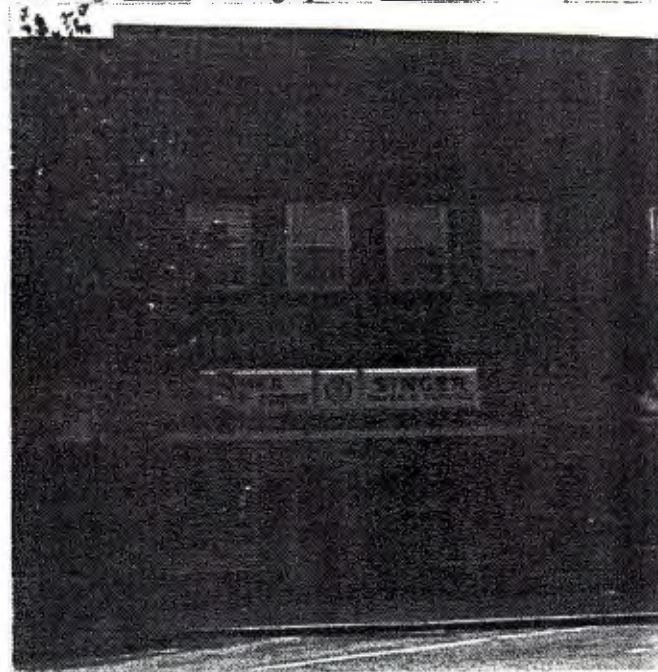
1. Site Name COMMERCIAL BUILDING
2. Village/Town/City AMES Township WASHINGTON County STORY
3. Street Address 214 MAIN STREET
4. Legal Location \_\_\_\_\_  
Urban: \_\_\_\_\_ subdivision \_\_\_\_\_ block \_\_\_\_\_ parcel \_\_\_\_\_ subparcel \_\_\_\_\_  
Rural: \_\_\_\_\_ township \_\_\_\_\_ range \_\_\_\_\_ section \_\_\_\_\_ 1/4 section of 1/4 section \_\_\_\_\_
5. UTM Location: zone \_\_\_\_\_ easting \_\_\_\_\_ northing \_\_\_\_\_ ; Acreage \_\_\_\_\_
6. Owner(s) Name \_\_\_\_\_
7. Owner(s) Address \_\_\_\_\_  
(Street address) (City) (State) (Zip)
8. Use: Present COMMERCIAL Original COMMERCIAL

## Description

9. Date of Construction: FACELIFT C. 1930 Architect/Builder \_\_\_\_\_
10. Building Type  
 single-family dwelling  industrial  other institutional  religious  
 multiple-family dwelling  education  public  agricultural  
 commercial
11. Exterior walls:  clapboard  stone  brick  board and batten  shingles  stucco  
 other \_\_\_\_\_
12. Structural System:  wood frame with interlocking joints  wood frame with light members (balloon frame)  
 masonry load-bearing walls  iron frame  steel frame with curtain walls  reinforced concrete  
 other \_\_\_\_\_
13. Condition:  excellent  good  fair  deteriorated
14. Integrity:  original site  moved--if so, when? \_\_\_\_\_  
Notes on alterations, additions (with dates and architect, if known) and any other notable features of building and site:  
\_\_\_\_\_  
(see next page)
15. Related Outbuildings and Property:  barn  other farm structures  carriage house  garage  privy  
 other \_\_\_\_\_
16. Is the building endangered:  no  yes--if so, why? \_\_\_\_\_
17. Surroundings of the building:  open land  woodland  scattered outbuildings  densely built-up  commercial  
 industrial  residential  other \_\_\_\_\_

18. Map

19. Photo looking S Photographer Wirth



# Significance

(Indicate sources of information for all statements)

## 20. Architectural Significance

- a. Ames Contributing (Key structure/individually may qualify for the National Register)
- b. Ames Compatible (Contributing structure)
- c. Ames Noncontributing (Not eligible/intrusion)

This is a two-story, brick commercial building with a one-room wide facade. It features brick in a red color and brick in a brown and yellow mixed color. Near the parapet, a plaque is worked in red brick with the butt ends laid to define this rectangular space. The second floor features double hung sash with 6/6 window pane configuration. These windows have sills constructed of brick laid butt end. The store front features black opaque glass above the store window and door area where a transom would normally be located. Although modern signage is situated over this glass, the glass itself does not appear to be seriously damaged. A door to the second floor is situated on the west side of this building.

This building is significant because it calls attention to the influence of the commercial school of architecture on the central business district in Ames. In this instance, the building appears to have been face lifted about 1930 to update its image. As such, it calls attention to the Face Lifts on Main movement.

## 21. Historical Significance

Theme(s) \_\_\_\_\_

- a. Ames Contributing (Key structure/individually may qualify for the National Register)
- b. Ames Compatible (Contributing structure)
- c. Ames Noncontributing (Not eligible/intrusion)

Further research might indicate historical significance for this building. It is not evaluated at this time.

## 22. Sources (for primary and secondary sources, give complete facts of publication: author, title, place of publication, date, etc)

Prepared by William C. Page, Public Historian Date Fall 1991  
 Address 104 Southwest Fourth Street Des Moines, IA 50309 Telephone 515/280-8026  
 Organization The Dunbar/Jones Partnership

## For Office of Historic Preservation Use Only

### 1. Office Information Sources on this Property

- County Resource File \_\_\_\_\_
- Windshield Survey \_\_\_\_\_
- National Register \_\_\_\_\_
- Grants-in-Aid: \_\_\_\_\_
- Determination of Eligibility \_\_\_\_\_

### Review and Compliance Project:

- Other \_\_\_\_\_
- Other \_\_\_\_\_
- Other \_\_\_\_\_

### 2. Subject Traces

- a. \_\_\_\_\_
- b. \_\_\_\_\_
- c. \_\_\_\_\_
- d. \_\_\_\_\_
- e. \_\_\_\_\_

### 3. Photo Images \_\_\_\_\_

- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_

# Iowa Site Inventory

Bureau of Historic Preservation  
Iowa State Department of Cultural Affairs  
Capitol Complex  
Des Moines, Iowa 50319

Site Number 065  
District Name \_\_\_\_\_  
Map Reference \_\_\_\_\_

## Identification

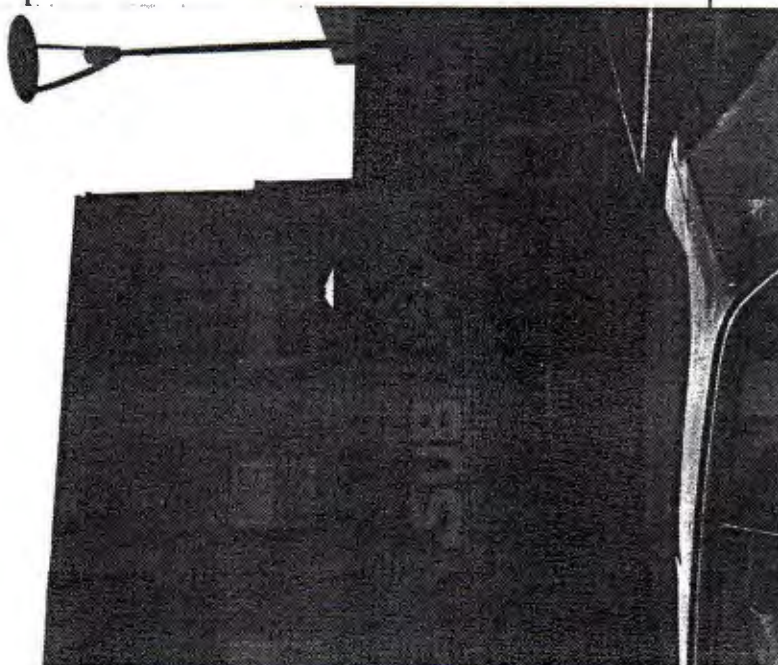
1. Site Name COMMERCIAL BUILDING  
2. Village/Town/City AMES Township WASHINGTON County STORY  
3. Street Address 216 MAIN STREET  
4. Legal Location  
Urban: \_\_\_\_\_ subdivision \_\_\_\_\_ block \_\_\_\_\_ parcel \_\_\_\_\_ subparcel \_\_\_\_\_  
Rural: \_\_\_\_\_ township \_\_\_\_\_ range \_\_\_\_\_ section \_\_\_\_\_ 1/4 section of 1/4 section \_\_\_\_\_  
5. UTM Location: zone \_\_\_\_\_ easting \_\_\_\_\_ northing \_\_\_\_\_ ; Acreage \_\_\_\_\_  
6. Owner(s) Name \_\_\_\_\_  
7. Owner(s) Address \_\_\_\_\_  
(Street address) (City) (State) (Zip)  
8. Use: Present COMMERCIAL Original COMMERCIAL

## Description

9. Date of Construction: FACE LIFT C. 1940(?) Architect/Builder \_\_\_\_\_  
10. Building Type  
 single-family dwelling  industrial  other institutional  religious  
 multiple-family dwelling  education  public  agricultural  
 commercial  
11. Exterior walls:  clapboard  stone  brick  board and batten  shingles  stucco  
 other \_\_\_\_\_  
12. Structural System:  wood frame with interlocking joints  wood frame with light members (balloon frame)  
 masonry load-bearing walls  iron frame  steel frame with curtain walls  reinforced concrete  
 other \_\_\_\_\_  
13. Condition:  excellent  good  fair  deteriorated  
14. Integrity:  original site  moved--if so, when? \_\_\_\_\_  
Notes on alterations, additions (with dates and architect, if known) and any other notable features of building and site:  
\_\_\_\_\_  
(see next page)  
15. Related Outbuildings and Property:  barn  other farm structures  carriage house  garage  privy  
 other \_\_\_\_\_  
16. Is the building endangered:  no  yes--if so, why? \_\_\_\_\_  
17. Surroundings of the building:  open land  woodland  scattered outbuildings  densely built-up  commercial  
 industrial  residential  other \_\_\_\_\_

18. Map

19. Photo looking S Photographer Wirth



# Significance

(Indicate sources of information for all statements)

## 20. Architectural Significance

- a. Ames Contributing (Key structure/individually may qualify for the National Register)
- b. Ames Compatible (Contributing structure)
- c. Ames Noncontributing (Not eligible/intrusion)

This is a two-story, brick commercial building with a one-room wide facade. The building features creamy yellow brick and creamy orange brick on the facade. A cast concrete coping caps the building. This building relates to that at 214 Main. This is most noticeable in the window sills and lintels, although the windows at 216 have been fore-shortened from the bottom up. The windows on the second floor may, when originally face lifted, have had a configuration other than the present 1/1.

This building is significant because it calls attention to the Face Lifts on Main movement, which in the first half of the Twentieth Century transformed Ames Main Street from a Victorian commercial district into one characterized by clean lines unincumbered by extraneous architectural detail. The building at 216 is a late example of such a face lift and may date as late as 1955. It could call attention to this movement particularly if the configuration of the windows were documented. More research is needed in this regard and the building is not presently evaluated.

## 21. Historical Significance

Theme(s) \_\_\_\_\_

- a. Ames Contributing (Key structure/individually may qualify for the National Register)
- b. Ames Compatible (Contributing structure)
- c. Ames Noncontributing (Not eligible/intrusion)

Further historical research is necessary to evaluate historical significance.

## 22. Sources (for primary and secondary sources, give complete facts of publication: author, title, place of publication, date, \_\_\_\_\_)

Prepared by William C. Page, Public Historian Date Fall 1991  
 Address 104 Southwest Fourth Street Des Moines, IA 50309 Telephone 515/280-8026  
 Organization The Dunbar/Jones Partnership

## For Office of Historic Preservation Use Only

### 1. Office Information Sources on this Property

- County Resource File \_\_\_\_\_
- Windshield Survey \_\_\_\_\_
- National Register \_\_\_\_\_
- Grants-in-Aid: \_\_\_\_\_
- Determination of Eligibility \_\_\_\_\_

### [ ] Review and Compliance Project:

- Other \_\_\_\_\_
- Other \_\_\_\_\_
- Other \_\_\_\_\_

### 2. Subject Traces

- a. \_\_\_\_\_
- b. \_\_\_\_\_
- c. \_\_\_\_\_
- d. \_\_\_\_\_
- e. \_\_\_\_\_

### 3. Photo Images \_\_\_\_\_

- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_

# Iowa Site Inventory

Bureau of Historic Preservation  
Iowa State Department of Cultural Affairs  
Capitol Complex  
Des Moines, Iowa 50319

Site Number 066  
District Name \_\_\_\_\_  
Map Reference \_\_\_\_\_

## Identification

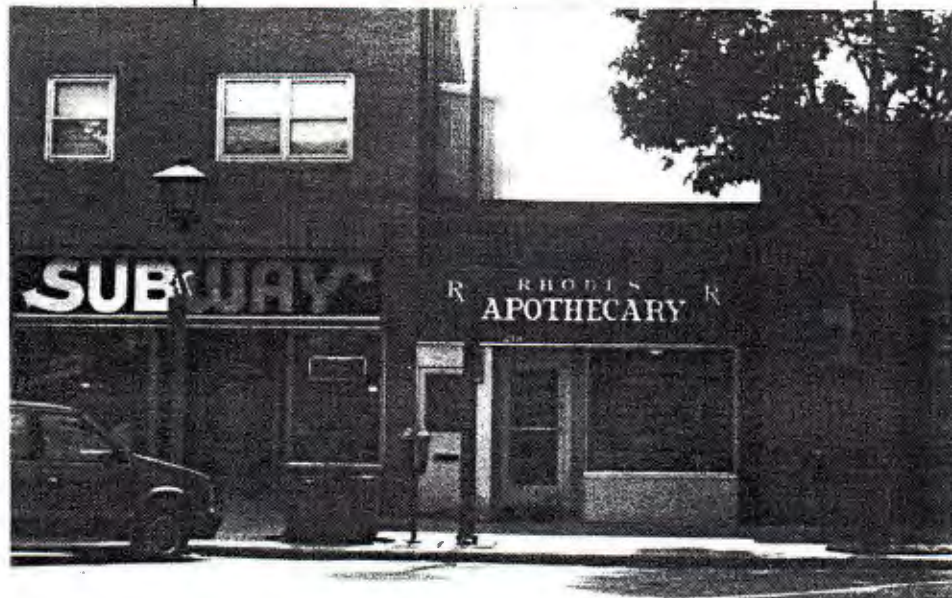
1. Site Name COMMERCIAL BUILDING  
2. Village/Town/City AMES Township WASHINGTON County STORY  
3. Street Address 218 MAIN STREET  
4. Legal Location  
Urban: \_\_\_\_\_ subdivision \_\_\_\_\_ block \_\_\_\_\_ parcel \_\_\_\_\_ subparcel \_\_\_\_\_  
Rural: \_\_\_\_\_ township \_\_\_\_\_ range \_\_\_\_\_ section \_\_\_\_\_ 1/4 section of 1/4 section \_\_\_\_\_  
5. UTM Location: zone \_\_\_\_\_ easting \_\_\_\_\_ northing \_\_\_\_\_ ; Acreage \_\_\_\_\_  
6. Owner(s) Name \_\_\_\_\_  
7. Owner(s) Address \_\_\_\_\_  
(Street address) (City) (State) (Zip)  
8. Use: Present COMMERCIAL Original COMMERCIAL

## Description

9. Date of Construction: NEW FACADE C. 1980 Architect/Builder \_\_\_\_\_  
10. Building Type  
 single-family dwelling  industrial  other institutional  religious  
 multiple-family dwelling  education  public  agricultural  
 commercial  
11. Exterior walls:  clapboard  stone  brick  board and batten  shingles  stucco  
 other \_\_\_\_\_  
12. Structural System:  wood frame with interlocking joints  wood frame with light members (balloon frame)  
 masonry load-bearing walls  iron frame  steel frame with curtain walls  reinforced concrete  
 other \_\_\_\_\_  
13. Condition:  excellent  good  fair  deteriorated  
14. Integrity:  original site  moved--if so, when? \_\_\_\_\_  
Notes on alterations, additions (with dates and architect, if known) and any other notable features of building and site:  
\_\_\_\_\_(see next page)  
15. Related Outbuildings and Property:  barn  other farm structures  carriage house  garage  privy  
 other \_\_\_\_\_  
16. Is the building endangered:  no  yes--if so, why? \_\_\_\_\_  
17. Surroundings of the building:  open land  woodland  scattered outbuildings  densely built-up  commercial  
 industrial  residential  other \_\_\_\_\_

18. Map

19. Photo looking S Photographer Wirth





# Significance

(Indicate sources of information for all statements)

## 20. Architectural Significance

- a. Ames Contributing (Key structure/individually may qualify for the National Register)
- b. Ames Compatible (Contributing structure)
- c. Ames Noncontributing (Not eligible/intrusion)

This is a one-story, brick commercial building with a one-room wide facade. This facade is narrower than most in the Ames central business business. In 1911 this building was associated with 220 Main Street. The building features brick painted dark brown. The storefront has been altered with installation of vertical siding material above the doors and window. The bulkhead is also a newer alteration to the building. This is a very modest building. Its historical significance needs further documentation because the architectural significance of the building lacks sufficient importance for evaluation other than as intrusive to an historic district.

## 21. Historical Significance

Theme(s) \_\_\_\_\_

- a. Ames Contributing (Key structure/individually may qualify for the National Register)
- b. Ames Compatible (Contributing structure)
- c. Ames Noncontributing (Not eligible/intrusion)

See architectural significance.

## 22. Sources (for primary and secondary sources, give complete facts of publication: author, title, place of publication, date, etc

Prepared by William C. Page, Public Historian Date Fall 1991  
 Address 104 Southwest Fourth Street Des Moines, IA 50309 Telephone 515/280-8026  
 Organization The Dunbar/Jones Partnership

## For Office of Historic Preservation Use Only

### 1. Office Information Sources on this Property

- County Resource File \_\_\_\_\_
- Windshield Survey \_\_\_\_\_
- National Register \_\_\_\_\_
- Grants-in-Aid: \_\_\_\_\_
- Determination of Eligibility \_\_\_\_\_

### Review and Compliance Project:

- Other \_\_\_\_\_
- Other \_\_\_\_\_
- Other \_\_\_\_\_

### 2. Subject Traces

- a. \_\_\_\_\_
- b. \_\_\_\_\_
- c. \_\_\_\_\_
- d. \_\_\_\_\_
- e. \_\_\_\_\_

### 3. Photo Images \_\_\_\_\_

- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_

# Iowa Site Inventory

Bureau of Historic Preservation  
Iowa State Department of Cultural Affairs  
Capitol Complex  
Des Moines, Iowa 50319

Site Number 067  
District Name \_\_\_\_\_  
Map Reference \_\_\_\_\_

## Identification

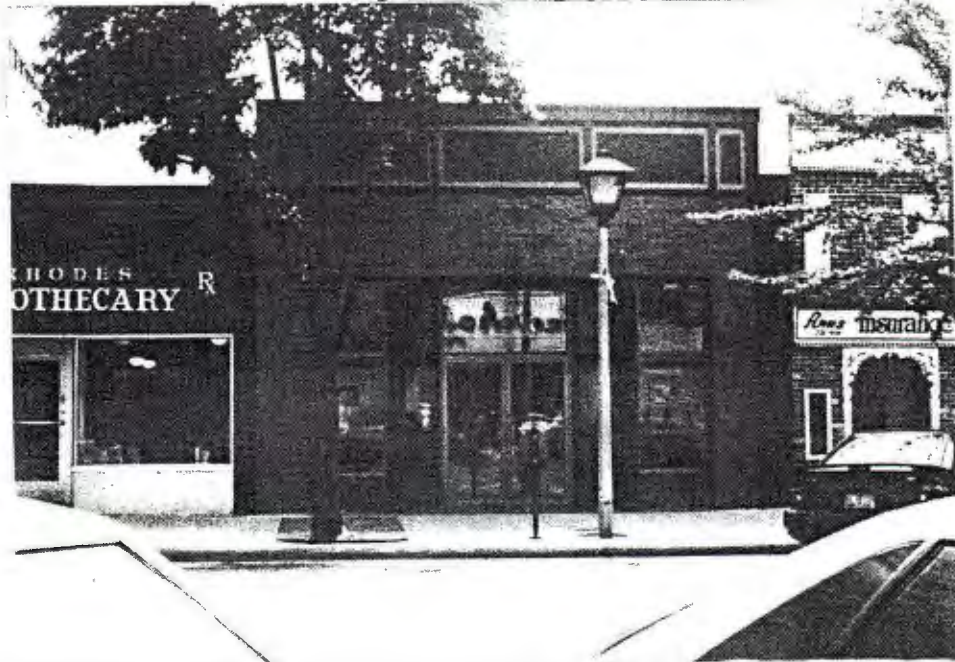
1. Site Name AMES SILVERSMITHING BUILDING  
2. Village/Town/City AMES Township WASHINGTON County STORY  
3. Street Address 220 MAIN STREET  
4. Legal Location \_\_\_\_\_  
Urban: \_\_\_\_\_ subdivision \_\_\_\_\_ block \_\_\_\_\_ parcel \_\_\_\_\_ subparcel \_\_\_\_\_  
Rural: \_\_\_\_\_ township \_\_\_\_\_ range \_\_\_\_\_ section \_\_\_\_\_ 1/4 section of 1/4 section \_\_\_\_\_  
5. UTM Location: zone \_\_\_\_\_ easting \_\_\_\_\_ northing \_\_\_\_\_; Acreage \_\_\_\_\_  
6. Owner(s) Name \_\_\_\_\_  
7. Owner(s) Address \_\_\_\_\_  
(Street address) (City) (State) (Zip)  
8. Use: Present COMMERCIAL Original COMMERCIAL

## Description

9. Date of Construction: 1989 Architect/Builder KEITH ROLLENHAGEN, DESIGNER & BUILDER  
10. Building Type  
 single-family dwelling  industrial  other institutional  religious  
 multiple-family dwelling  education  public  agricultural  
 commercial  
11. Exterior walls:  clapboard  stone  brick  board and batten  shingles  stucco  
 other \_\_\_\_\_  
12. Structural System:  wood frame with interlocking joints  wood frame with light members (balloon frame)  
 masonry load-bearing walls  iron frame  steel frame with curtain walls  reinforced concrete  
 other \_\_\_\_\_  
13. Condition:  excellent  good  fair  deteriorated  
14. Integrity:  original site  moved--if so, when?  
Notes on alterations, additions (with dates and architect, if known) and any other notable features of building and site:  
\_\_\_\_\_(see next page)  
15. Related Outbuildings and Property:  barn  other farm structures  carriage house  garage  privy  
 other \_\_\_\_\_  
16. Is the building endangered:  no  yes--if so, why?  
17. Surroundings of the building:  open land  woodland  scattered outbuildings  densely built-up  commercial  
 industrial  residential  other \_\_\_\_\_

18. Map

19. Photo looking S Photographer Wirtk



# Significance

(Indicate sources of information for all statements)

## 20. Architectural Significance

- a. Ames Contributing (Key structure/individually may qualify for the National Register)
- b. Ames Compatible (Contributing structure)
- c. Ames Noncontributing (Not eligible/intrusion)

This is a one-story, brick commercial building with a one-room wide facade. In 1911 this site housed two commercial buildings of narrower than standard width for Ames. The present building was constructed in 1989. Although it contains a Victorian Revival storefront design, the wood brackets and cornice design suggest a period of significance earlier than that proposed for an historic commercial district in Ames. The introduction of polychrome brick in the new facade is particularly appropriate for commercial design in downtown Ames. Because of its new construction, this building is evaluated as an intrusion to an historic commercial district.

## 21. Historical Significance

Theme(s) \_\_\_\_\_

- a. Ames Contributing (Key structure/individually may qualify for the National Register)
- b. Ames Compatible (Contributing structure)
- c. Ames Noncontributing (Not eligible/intrusion)

Because of alterations to the building, historical significance does not obtain.

## 22. Sources (for primary and secondary sources, give complete facts of publication: author, title, place of publication, date, etc)

Prepared by William C. Page, Public Historian Date Fall 1991  
 Address 104 Southwest Fourth Street Des Moines, IA 50309 Telephone 515/280-8026  
 Organization The Dunbar/Jones Partnership

## For Office of Historic Preservation Use Only

### 1. Office Information Sources on this Property

- County Resource File \_\_\_\_\_
- Windshield Survey \_\_\_\_\_
- National Register \_\_\_\_\_
- Grants-in-Aid: \_\_\_\_\_
- Determination of Eligibility \_\_\_\_\_

### Review and Compliance Project:

- Other \_\_\_\_\_
- Other \_\_\_\_\_
- Other \_\_\_\_\_

### 2. Subject Traces

- a. \_\_\_\_\_
- b. \_\_\_\_\_
- c. \_\_\_\_\_
- d. \_\_\_\_\_
- e. \_\_\_\_\_

### 3. Photo Images \_\_\_\_\_

- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_

# Iowa Site Inventory

Bureau of Historic Preservation  
Iowa State Department of Cultural Affairs  
Capitol Complex  
Des Moines, Iowa 50319

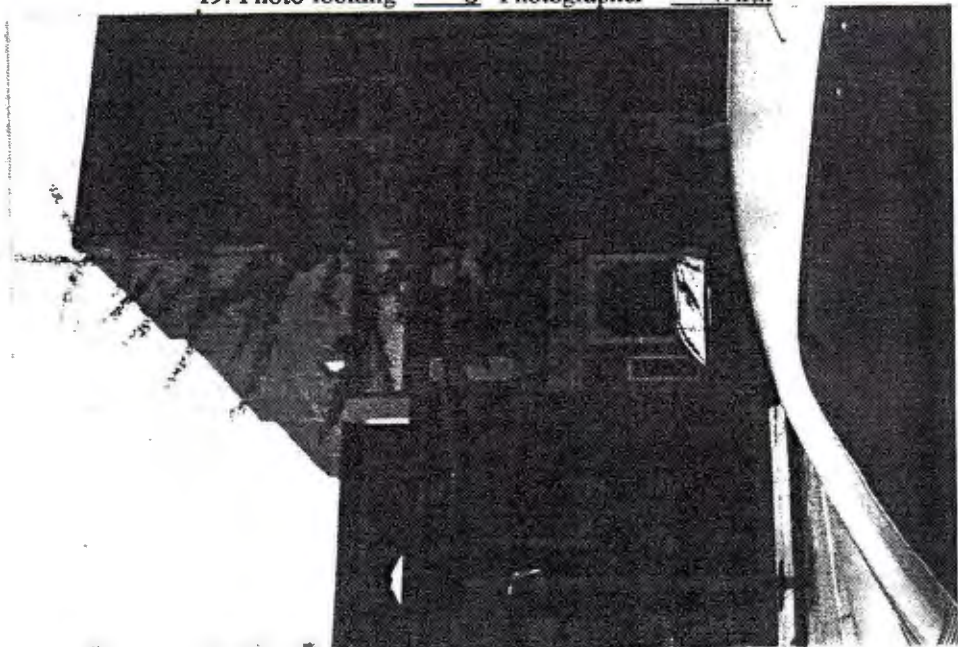
Site Number 068  
District Name \_\_\_\_\_  
Map Reference \_\_\_\_\_

## Identification

1. Site Name COMMERCIAL BUILDING  
2. Village/Town/City AMES Township WASHINGTON County STORY  
3. Street Address 224 MAIN STREET  
4. Legal Location \_\_\_\_\_  
Urban: \_\_\_\_\_ subdivision \_\_\_\_\_ block \_\_\_\_\_ parcel \_\_\_\_\_ subparcel \_\_\_\_\_  
Rural: \_\_\_\_\_ township \_\_\_\_\_ range \_\_\_\_\_ section \_\_\_\_\_ 1/4 section of 1/4 section \_\_\_\_\_  
5. UTM Location: zone \_\_\_\_\_ easting \_\_\_\_\_ northing \_\_\_\_\_ ; Acreage \_\_\_\_\_  
6. Owner(s) Name \_\_\_\_\_  
7. Owner(s) Address \_\_\_\_\_  
(Street address) (City) (State) (Zip)  
8. Use: Present COMMERCIAL Original COMMERCIAL

## Description

9. Date of Construction: 1970-1985 ALTERATIONS Architect/Builder \_\_\_\_\_  
10. Building Type  
 single-family dwelling  industrial  other institutional  religious  
 multiple-family dwelling  education  public  agricultural  
 commercial  
11. Exterior walls:  clapboard  stone  brick  board and batten  shingles  stucco  
 other \_\_\_\_\_  
12. Structural System:  wood frame with interlocking joints  wood frame with light members (balloon frame)  
 masonry load-bearing walls  iron frame  steel frame with curtain walls  reinforced concrete  
 other \_\_\_\_\_  
13. Condition:  excellent  good  fair  deteriorated  
14. Integrity:  original site  moved--if so, when? \_\_\_\_\_  
Notes on alterations, additions (with dates and architect, if known) and any other notable features of building and site:  
\_\_\_\_\_(see next page)  
15. Related Outbuildings and Property:  barn  other farm structures  carriage house  garage  privy  
 other \_\_\_\_\_  
16. Is the building endangered:  no  yes--if so, why? Structurally unsound--condemned by city (1990) but now in court  
17. Surroundings of the building:  open land  woodland  scattered outbuildings  densely built-up  commercial  
 industrial  residential  other \_\_\_\_\_  
18. Map \_\_\_\_\_  
19. Photo looking S Photographer Wirth



# Significance

(Indicate sources of information for all statements)

## 20. Architectural Significance

- a. Ames Contributing (Key structure/individually may qualify for the National Register)
- b. Ames Compatible (Contributing structure)
- c. Ames Noncontributing (Not eligible/intrusion)

This is a one-story, brick commercial building with a one-room wide facade. This facade is one of the narrowest in the Ames central business district. A 1911 fire insurance map of Ames pictures the building on this site to be tiny. This narrow width calls attention to the irregularity of storefronts in Ames from the third quarter of the Nineteenth Century.

Although the unusually small scale of this building provides a note of contrast to the Ames central business district (the second floor appearance of the building is strictly cosmetic), the facade appears to date substantially, if not entirely, from 1970-1985. For this reason, the building is evaluated as an intrusion to an historic commercial district.

## 21. Historical Significance

Theme(s) \_\_\_\_\_

- a. Ames Contributing (Key structure/individually may qualify for the National Register)
- b. Ames Compatible (Contributing structure)
- c. Ames Noncontributing (Not eligible/intrusion)

In 1927 the building was occupied by Smith Jewelry. In that year they relocated to 212 Main Street. Because of the building's great facade alterations, historical significance does not obtain.

## 22. Sources (for primary and secondary sources, give complete facts of publication: author, title, place of publication, date, etc)

\* ADT, August 1, 1927, page 1.

Prepared by William C. Page, Public Historian Date Fall 1991  
 Address 104 Southwest Fourth Street Des Moines, IA 50309 Telephone 515/280-8026  
 Organization The Dunbar/Jones Partnership

## For Office of Historic Preservation Use Only

### 1. Office Information Sources on this Property

- County Resource File \_\_\_\_\_
- Windshield Survey \_\_\_\_\_
- National Register \_\_\_\_\_
- Grants-in-Aid: \_\_\_\_\_
- Determination of Eligibility \_\_\_\_\_

Review and Compliance Project

- Other \_\_\_\_\_
- Other \_\_\_\_\_
- Other \_\_\_\_\_

### 2. Subject Traces

- a. \_\_\_\_\_
- b. \_\_\_\_\_
- c. \_\_\_\_\_
- d. \_\_\_\_\_
- e. \_\_\_\_\_

### 3. Photo Images \_\_\_\_\_

- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_

# Iowa Site Inventory

Bureau of Historic Preservation  
Iowa State Department of Cultural Affairs  
Capitol Complex  
Des Moines, Iowa 50319

Site Number 069  
District Name \_\_\_\_\_  
Map Reference \_\_\_\_\_

## Identification

1. Site Name COMMERCIAL BUILDING  
2. Village/Town/City AMES Township WASHINGTON County STORY  
3. Street Address 226 MAIN STREET  
4. Legal Location  
Urban: \_\_\_\_\_ subdivision \_\_\_\_\_ block \_\_\_\_\_ parcel \_\_\_\_\_ subparcel \_\_\_\_\_  
Rural: \_\_\_\_\_ township \_\_\_\_\_ range \_\_\_\_\_ section \_\_\_\_\_ 1/4 section of 1/4 section \_\_\_\_\_  
5. UTM Location: zone \_\_\_\_\_ easting \_\_\_\_\_ northing \_\_\_\_\_ ; Acreage \_\_\_\_\_  
6. Owner(s) Name \_\_\_\_\_  
7. Owner(s) Address \_\_\_\_\_  
(Street address) (City) (State) (Zip)  
8. Use: Present COMMERCIAL Original COMMERCIAL

## Description

9. Date of Construction: FACELIFT C. 1925(?) Architect/Builder \_\_\_\_\_  
10. Building Type  
 single-family dwelling  industrial  other institutional  religious  
 multiple-family dwelling  education  public  agricultural  
 commercial  
11. Exterior walls:  clapboard  stone  brick  board and batten  shingles  stucco  
 other \_\_\_\_\_  
12. Structural System:  wood frame with interlocking joints  wood frame with light members (balloon frame)  
 masonry load-bearing walls  iron frame  steel frame with curtain walls  reinforced concrete  
 other \_\_\_\_\_  
13. Condition:  excellent  good  fair  deteriorated  
14. Integrity:  original site  moved--if so, when? \_\_\_\_\_  
Notes on alterations, additions (with dates and architect, if known) and any other notable features of building and site:  
\_\_\_\_\_(see next page)  
15. Related Outbuildings and Property:  barn  other farm structures  carriage house  garage  privy  
 other \_\_\_\_\_  
16. Is the building endangered:  no  yes--if so, why? \_\_\_\_\_  
17. Surroundings of the building:  open land  woodland  scattered outbuildings  densely built-up  commercial  
 industrial  residential  other \_\_\_\_\_

18. Map

19. Photo looking S Photographer Wirth



# Significance

(Indicate sources of information for all statements)

## 20. Architectural Significance

- a. Ames Contributing (Key structure/individually may qualify for the National Register)
- b. Ames Compatible (Contributing structure)
- c. Ames Noncontributing (Not eligible/intrusion)

See continuation sheet.

## 21. Historical Significance

Theme(s) \_\_\_\_\_

- a. Ames Contributing (Key structure/individually may qualify for the National Register)
- b. Ames Compatible (Contributing structure)
- c. Ames Noncontributing (Not eligible/intrusion)

More historical research is required before this building can be evaluated for historical significance.

## 22. Sources (for primary and secondary sources, give complete facts of publication: author, title, place of publication, date, etc)

Prepared by William C. Page, Public Historian Date Fall 1991  
Address 104 Southwest Fourth Street Des Moines, IA 50309 Telephone 515/280-8026  
Organization The Dunbar/Jones Partnership

## For Office of Historic Preservation Use Only

### 1. Office Information Sources on this Property

- County Resource File \_\_\_\_\_
- Windshield Survey \_\_\_\_\_
- National Register \_\_\_\_\_
- Grants-in-Aid: \_\_\_\_\_
- Determination of Eligibility \_\_\_\_\_

### Review and Compliance Project:

- Other \_\_\_\_\_
- Other \_\_\_\_\_
- Other \_\_\_\_\_

### 2. Subject Traces

- a. \_\_\_\_\_
- b. \_\_\_\_\_
- c. \_\_\_\_\_
- d. \_\_\_\_\_
- e. \_\_\_\_\_

### 3. Photo Images \_\_\_\_\_

- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_

# Iowa Site Inventory

Bureau of Historic Preservation  
Iowa State Department of Cultural Affairs  
Capitol Complex  
Des Moines, Iowa 50319

Site Number 69

## CONTINUATION SHEET

### Significance

#### 20. Architectural Significance

This is a two-story, brick commercial building with a one-room wide facade. This building appears to have been designed prior to 1907 in association with that at 228 Main Street although the facade of 226 is somewhat wider. A 1907 photograph of the central business district shows, for example, these buildings sharing a common cornice design. Like its neighbor to the west, number 226 was face-lifted, possibly in the 1920s. It is this facade which obtains significance today.

The building features red, dark red and tawny yellow colored brick. There is a high parapet above the second floor windows. This area is decorated with a brickworked plaque consisting of brick laid in a basket weave design. Tile coping caps the building. Windows on the second floor feature 1/1 double hung sash type windows. They appear to be alterations from the original 1920s design which, perhaps, resembled those at 228. Sills consist of brick laid obliquely and butting out. Other brick details provide architectural interest to the facade. These details include a band of soldier laid brick separated by other courses of brick above the second floor windows. This band ties into a similar one at 228. The first floor storefront has been totally altered with rough, vertical wood siding in a gable end design to unite 228 and 226 Main Street. Although this design is very distracting to the historical appearance of the building, the second floor retains much of its integrity from the 1920s.

This building is significant because it calls direct attention to the Face Lifts on Main movement, which swept Ames in the 'Teens, 1920s, and 1930s. The building could be contributing to an historic commercial district, particularly if the problem of the second floor windows can be addressed.





# Iowa Site Inventory

Bureau of Historic Preservation  
Iowa State Department of Cultural Affairs  
Capitol Complex  
Des Moines, Iowa 50319

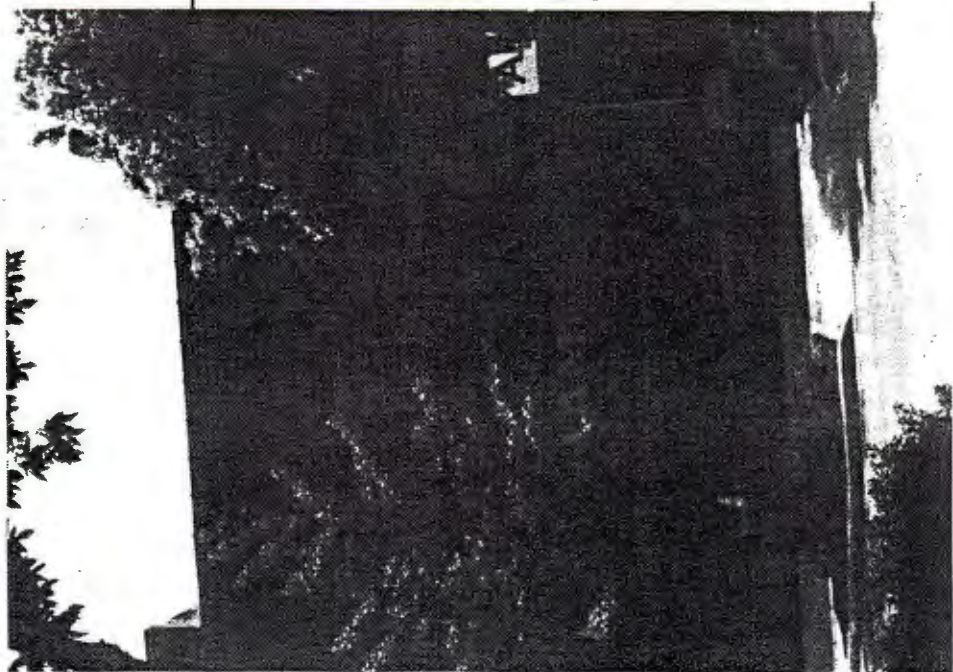
Site Number 070  
District Name \_\_\_\_\_  
Map Reference \_\_\_\_\_

## Identification

1. Site Name COMMERCIAL BUILDING  
2. Village/Town/City AMES Township WASHINGTON County STORY  
3. Street Address 228 MAIN STREET  
4. Legal Location:  
Urban: \_\_\_\_\_ subdivision \_\_\_\_\_ block \_\_\_\_\_ parcel \_\_\_\_\_ subparcel \_\_\_\_\_  
Rural: \_\_\_\_\_ township \_\_\_\_\_ range \_\_\_\_\_ section \_\_\_\_\_ 1/4 section of 1/4 section \_\_\_\_\_  
5. UTM Location: zone \_\_\_\_\_ easting \_\_\_\_\_ northing \_\_\_\_\_ ; Acreage \_\_\_\_\_  
6. Owner(s) Name \_\_\_\_\_  
7. Owner(s) Address \_\_\_\_\_  
(Street address) (City) (State) (Zip)  
8. Use: Present COMMERCIAL Original COMMERCIAL

## Description

9. Date of Construction: FACELIFTED C. 1925(?) Architect/Builder \_\_\_\_\_  
10. Building Type  
 single-family dwelling  industrial  other institutional  religious  
 multiple-family dwelling  education  public  agricultural  
 commercial  
11. Exterior walls:  clapboard  stone  brick  board and batten  shingles  stucco  
 other \_\_\_\_\_  
12. Structural System:  wood frame with interlocking joints  wood frame with light members (balloon frame)  
 masonry load-bearing walls  iron frame  steel frame with curtain walls  reinforced concrete  
 other \_\_\_\_\_  
13. Condition:  excellent  good  fair  deteriorated  
14. Integrity:  original site  moved--if so, when? \_\_\_\_\_  
Notes on alterations, additions (with dates and architect, if known) and any other notable features of building and site:  
\_\_\_\_\_(see next page)  
15. Related Outbuildings and Property:  barn  other farm structures  carriage house  garage  privy  
 other \_\_\_\_\_  
16. Is the building endangered:  no  yes--if so, why? \_\_\_\_\_  
17. Surroundings of the building:  open land  woodland  scattered outbuildings  densely built-up  commercial  
 industrial  residential  other \_\_\_\_\_  
18. Map \_\_\_\_\_ 19. Photo looking S Photographer Wirth



# Significance

(Indicate sources of information for all statements)

## 20. Architectural Significance

- a. Ames Contributing (Key structure/individually may qualify for the National Register)
- b. Ames Compatible (Contributing structure)
- c. Ames Noncontributing (Not eligible/intrusion)

See continuation sheet.

## 21. Historical Significance

Theme(s) \_\_\_\_\_

- a. Ames Contributing (Key structure/individually may qualify for the National Register)
- b. Ames Compatible (Contributing structure)
- c. Ames Noncontributing (Not eligible/intrusion)

Further historical research is needed to evaluate its historical significance. Sanborn fire insurance maps from the 1920s, for example, identify this building as a "Store."

## 22. Sources (for primary and secondary sources, give complete facts of publication: author, title, place of publication, date, etc)

Prepared by William C. Page, Public Historian Date Fall 1991  
Address 104 Southwest Fourth Street Des Moines, IA 50309 Telephone 515/280-8026  
Organization The Dunbar/Jones Partnership

## For Office of Historic Preservation Use Only

### 1. Office Information Sources on this Property

- County Resource File \_\_\_\_\_
- Windshield Survey \_\_\_\_\_
- National Register \_\_\_\_\_
- Grants-in-Aid: \_\_\_\_\_
- Determination of Eligibility \_\_\_\_\_

### Review and Compliance Project:

- Other \_\_\_\_\_
- Other \_\_\_\_\_
- Other \_\_\_\_\_

### 2. Subject Traces

- a. \_\_\_\_\_
- b. \_\_\_\_\_
- c. \_\_\_\_\_
- d. \_\_\_\_\_
- e. \_\_\_\_\_

### 3. Photo Images \_\_\_\_\_

- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_

# Iowa Site Inventory

Bureau of Historic Preservation  
Iowa State Department of Cultural Affairs  
Capitol Complex  
Des Moines, Iowa 50319

Site Number 070

## CONTINUATION SHEET

### Significance

#### 20. Architectural Significance

This is a two-story, brick commercial building with a one-room wide facade. This building appears to have been designed prior to 1907 in association with that at 226 Main Street, although that store front is somewhat wider than 228. A 1907 photograph of the central business district shows, for example, these buildings sharing a common cornice design. Like its neighbor, number 228 was face lifted, in this case probably in the 1920s. It is this facade which obtains significance today.

The building features red colored brick. There is a simple, brickworked cornice. Tile coping caps the building. Windows on the second floor feature 6/6 double hung sash type windows. They appear original to the 1920s. Sills consist of brick laid obliquely and butting out. Other brick details provide architectural interest to the facade. These details include a band of soldier laid brick separated by other brick courses laid above the second floor windows. The first floor storefront has been totally altered with rough, vertical wood siding in a gable end design to unite 228 and 226 Main Street. Although this design is very distracting to the historical appearance of the building, the second floor retains almost pristine integrity from the 1920s. For this reason, the building could be contributing to an historic commercial district.

This building is architecturally significant because it calls attention to the Face Lift on Main movement in Ames during the 1920s through the early 1940s.

# Iowa Site Inventory

Bureau of Historic Preservation  
Iowa State Department of Cultural Affairs  
Capitol Complex  
Des Moines, Iowa 50319

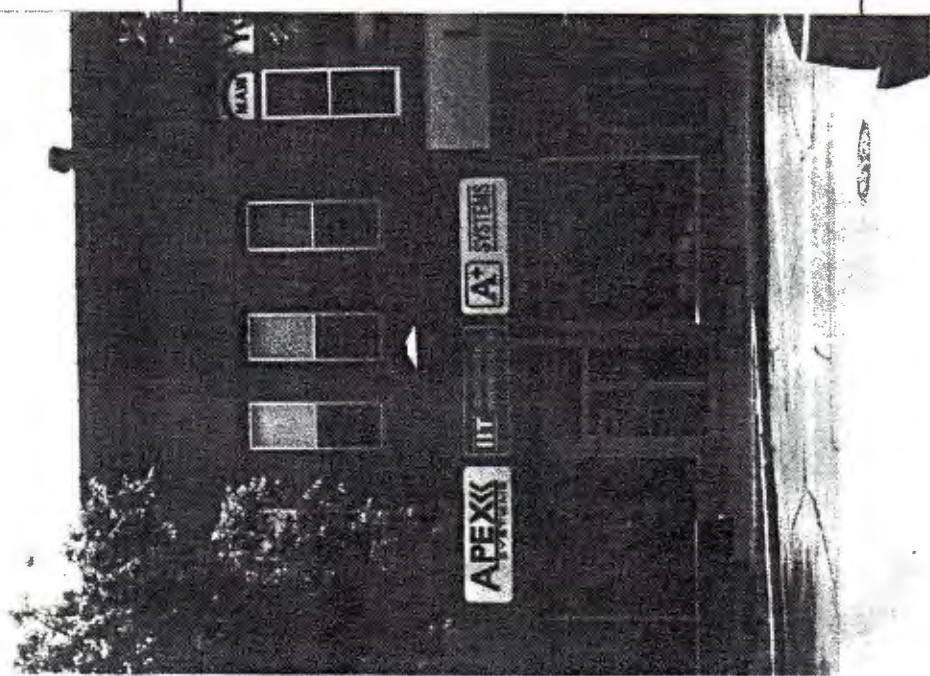
Site Number 071  
District Name \_\_\_\_\_  
Map Reference \_\_\_\_\_

## Identification

1. Site Name COMMERCIAL BUILDING
2. Village/Town/City AMES Township WASHINGTON County STORY
3. Street Address 230 MAIN STREET
4. Legal Location  
Urban: \_\_\_\_\_ subdivision \_\_\_\_\_ block \_\_\_\_\_ parcel \_\_\_\_\_ subparcel \_\_\_\_\_  
Rural: \_\_\_\_\_ township \_\_\_\_\_ range \_\_\_\_\_ section \_\_\_\_\_ 1/4 section of 1/4 section \_\_\_\_\_
5. UTM Location: zone \_\_\_\_\_ easting \_\_\_\_\_ northing \_\_\_\_\_ ; Acreage \_\_\_\_\_
6. Owner(s) Name \_\_\_\_\_
7. Owner(s) Address \_\_\_\_\_  
(Street address) (City) (State) (Zip)
8. Use: Present COMMERCIAL Original COMMERCIAL

## Description

9. Date of Construction: BET. 1896-1900\* Architect/Builder JOHN COLE, BUILDER
10. Building Type  
 single-family dwelling  industrial  other institutional  religious  
 multiple-family dwelling  education  public  agricultural  
 commercial
11. Exterior walls:  clapboard  stone  brick  board and batten  shingles  stucco  
 other \_\_\_\_\_
12. Structural System:  wood frame with interlocking joints  wood frame with light members (balloon frame)  
 masonry load-bearing walls  iron frame  steel frame with curtain walls  reinforced concrete  
 other \_\_\_\_\_
13. Condition:  excellent  good  fair  deteriorated
14. Integrity:  original site  moved--if so, when? \_\_\_\_\_  
Notes on alterations, additions (with dates and architect, if known) and any other notable features of building and site:  
\_\_\_\_\_  
(see next page)
15. Related Outbuildings and Property:  barn  other farm structures  carriage house  garage  privy  
 other \_\_\_\_\_
16. Is the building endangered:  no  yes--if so, why? \_\_\_\_\_
17. Surroundings of the building:  open land  woodland  scattered outbuildings  densely built-up  commercial  
 industrial  residential  other \_\_\_\_\_
18. Map \_\_\_\_\_
19. Photo looking S Photographer Wirth



# Significance

(Indicate sources of information for all statements)

## 20. Architectural Significance

- a. Ames Contributing (Key structure/individually may qualify for the National Register)
- b. Ames Compatible (Contributing structure)
- c. Ames Noncontributing (Not eligible/intrusion)

See continuation sheet.

## 21. Historical Significance

Theme(s) \_\_\_\_\_

- a. Ames Contributing (Key structure/individually may qualify for the National Register)
- b. Ames Compatible (Contributing structure)
- c. Ames Noncontributing (Not eligible/intrusion)

J. Jacobs started the Fair Store in Ames. He later went into business association with E. W. Valentine. The Fair Store was one of the lynch pins of downtown Ames commerce. Other communities, like Albia, also had a Fair Store. This may have been an early Iowa chain store like the Graham Stores, based in Ottumwa, the Golden Eagle, based in Oskaloosa, or Spurgeon's which had stores in Fairfield, Grinnell, and elsewhere. More research should be undertaken to identify such a connection to strengthen the building's historic significance.

The Octagon Center for the Arts published an historic photograph of this building in postcard format in 1989. It shows the building before the alterations of the second floor windows at 232-234 Main.

## 22. Sources (for primary and secondary sources, give complete facts of publication: author, title, place of publication, date, etc

\* Sanborn Fire Insurance Maps for 1896 and 1900.

Prepared by William C. Page, Public Historian Date Fall 1991  
 Address 104 Southwest Fourth Street Des Moines, IA 50309 Telephone 515/280-8026  
 Organization The Dunbar/Jones Partnership

## For Office of Historic Preservation Use Only

### 1. Office Information Sources on this Property

- County Resource File \_\_\_\_\_
- Windshield Survey \_\_\_\_\_
- National Register \_\_\_\_\_
- Grants-in-Aid: \_\_\_\_\_
- Determination of Eligibility \_\_\_\_\_

### Review and Compliance Project:

- Other \_\_\_\_\_
- Other \_\_\_\_\_
- Other \_\_\_\_\_

### 2. Subject Traces

- a. \_\_\_\_\_
- b. \_\_\_\_\_
- c. \_\_\_\_\_
- d. \_\_\_\_\_
- e. \_\_\_\_\_

### 3. Photo Images \_\_\_\_\_

- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_

# Iowa Site Inventory

Bureau of Historic Preservation  
Iowa State Department of Cultural Affairs  
Capitol Complex  
Des Moines, Iowa 50319

Site Number 071

## CONTINUATION SHEET

### Significance

#### 20. Architectural Significance

This is a two-story, brick commercial block with a one-room wide facade. This building stands in place in a 1911 fire insurance map of Ames. It was built in 1895 by John Cole, building contractor of Ames, for Joseph L. Budd. The building is associated with 232-234 Main Street because they share a common architectural design. The first floor was given over to The Fair Store, which featured dry goods and groceries. The Fair Store extended into 232-234 Main Street.

This building features brick in a yellow color. The second floor contains a brickworked cornice with stylized brackets and parapets. A tile coping caps the facade. These architectural features are repeated on 232-234 Main Street. Second floor features four bays filled with 1/1 double hung sash type windows. Brick segmental arches are above the windows and cast concrete sills below. Although the first floor features an entirely new storefront, it respects the original storefront cavity and retains the I-beam lintel and cast iron columns which structurally support the second floor.

This commercial building and its association with the block at 232-234 Main Street constitute one of the finest commercial designs in the central business district. These buildings are significant for the breadth of their architectural design. The quality of its design and building materials suggests that it may have originally been constructed by the Masons to serve as their meeting hall, as well as an investment as rental property. This could be a key building in an historic commercial district.



# Iowa Site Inventory

Bureau of Historic Preservation  
Iowa State Department of Cultural Affairs  
Capitol Complex  
Des Moines, Iowa 50319

Site Number 072  
District Name \_\_\_\_\_  
Map Reference \_\_\_\_\_

## Identification

1. Site Name BUDD COMMERCIAL BUILDING  
2. Village/Town/City AMES Township WASHINGTON County STORY  
3. Street Address 232-234 MAIN STREET  
4. Legal Location  
Urban: \_\_\_\_\_ subdivision \_\_\_\_\_ block \_\_\_\_\_ parcel \_\_\_\_\_ subparcel \_\_\_\_\_  
Rural: \_\_\_\_\_ township \_\_\_\_\_ range \_\_\_\_\_ section \_\_\_\_\_ 1/4 section of 1/4 section \_\_\_\_\_  
5. UTM Location: zone \_\_\_\_\_ easting \_\_\_\_\_ northing \_\_\_\_\_ ; Acreage \_\_\_\_\_  
6. Owner(s) Name \_\_\_\_\_  
7. Owner(s) Address \_\_\_\_\_  
(Street address) (City) (State) (Zip)  
8. Use: Present COMMERCIAL Original COMMERCIAL

## Description

9. Date of Construction: BET. 1896-1900\* Architect/Builder JOHN COLE, BUILDER  
10. Building Type  
 single-family dwelling  industrial  other institutional  religious  
 multiple-family dwelling  education  public  agricultural  
 commercial  
11. Exterior walls:  clapboard  stone  brick  board and batten  shingles  stucco  
 other \_\_\_\_\_  
12. Structural System:  wood frame with interlocking joints  wood frame with light members (balloon frame)  
 masonry load-bearing walls  iron frame  steel frame with curtain walls  reinforced concrete  
 other \_\_\_\_\_  
13. Condition:  excellent  good  fair  deteriorated  
14. Integrity:  original site  moved--if so, when? \_\_\_\_\_  
Notes on alterations, additions (with dates and architect, if known) and any other notable features of building and site:  
\_\_\_\_\_  
(see next page)  
15. Related Outbuildings and Property:  barn  other farm structures  carriage house  garage  privy  
 other \_\_\_\_\_  
16. Is the building endangered:  no  yes--if so, why? \_\_\_\_\_  
17. Surroundings of the building:  open land  woodland  scattered outbuildings  densely built-up  commercial  
 industrial  residential  other \_\_\_\_\_

18. Map

19. Photo looking S Photographer Wirth



# Significance

(Indicate sources of information for all statements)

## 20. Architectural Significance

- a. Ames Contributing (Key structure/individually may qualify for the National Register)
- b. Ames Compatible (Contributing structure)
- c. Ames Noncontributing (Not eligible/intrusion)

See continuation sheet.

## 21. Historical Significance

Theme(s) \_\_\_\_\_

- a. Ames Contributing (Key structure/individually may qualify for the National Register)
- b. Ames Compatible (Contributing structure)
- c. Ames Noncontributing (Not eligible/intrusion)

Fraternal orders played important roles in the evolution of Iowa towns. The Masons frequently constructed commercial buildings as an investment among their membership. The first floor was usually rented out to business concerns, and the upper floor or floors given over to a lodge hall. In this case, Professor Joseph L. Budd had an heavy interest in the construction of this building. Budd, a professor of horticulture at ISC, was a seminal figure in Nineteenth Century Ames. He also invested with Judge Stevens in construction of the building on the northeast corner of Main and Kellogg.

The Budd Building is historically significant because it calls attention to the upbuilding of Main Street and its extension to the west. The building obtains additional historical significance because it calls attention to the economic activities of Iowa State faculty in the commercial life of Ames.

## 22. Sources (for primary and secondary sources, give complete facts of publication: author, title, place of publication, date, etc

\* Sanborn fire insurance maps for 1896 and 1900.

Prepared by William C. Page, Public Historian Date Fall 1991  
 Address 104 Southwest Fourth Street Des Moines, IA 50309 Telephone 515/280-8026  
 Organization The Dunbar/Jones Partnership

## For Office of Historic Preservation Use Only

### 1. Office Information Sources on this Property

- County Resource File \_\_\_\_\_
- Windshield Survey \_\_\_\_\_
- National Register \_\_\_\_\_
- Grants-in-Aid: \_\_\_\_\_
- Determination of Eligibility \_\_\_\_\_

Review and Compliance Project:

- Other \_\_\_\_\_
- Other \_\_\_\_\_
- Other \_\_\_\_\_

### 2. Subject Traces

- a. \_\_\_\_\_
- b. \_\_\_\_\_
- c. \_\_\_\_\_
- d. \_\_\_\_\_
- e. \_\_\_\_\_

### 3. Photo Images \_\_\_\_\_

- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_



# Iowa Site Inventory

Bureau of Historic Preservation  
Iowa State Department of Cultural Affairs  
Capitol Complex  
Des Moines, Iowa 50319

Site Number 072

## CONTINUATION SHEET

### Significance

#### 20. Architectural Significance

This is a two-story, brick commercial block with a two-room wide facade. This building was built, according to fire insurance map of Ames, between 1896 and 1900. The building is associated with 230 Main Street because they share a common architectural design. The first floor was given over to The Fair Grocery Store in one of the first floor commercial rooms. The Masonic Hall occupied the second floor, where they remained until their own building was completed on the corner of Douglas and 5th Street in 1916.

This building was built in 1895 for Professor Joseph L. Budd by John Cole, building contractor of Ames. Budd had this building constructed as an investment. A member of the Lodge, Budd's biography in the 1911 *History of Story County, Iowa* (Volume 2, page 261) says "He built and owned the home of Arcadia Lodge, No. 249, A. F. & A. M. in Ames. He took great delight in building operations and found extreme pleasure in erecting some large building, and thus contributing to the welfare and improvement of the city in which it was located."

This building features brick in a yellow color. The second floor contains a brickworked cornice with stylized brackets and small turrets. A tile coping caps the facade. These architectural features are repeated on 230 Main Street. Although the first floor features an entirely new storefront, it respects the original storefront cavity and retains the I-beam lintel and cast iron columns which structurally support the second floor. A brickworked pattern between the first and second floors is currently masked by the storefront sign. Signage at 230 Main allows this brickwork to show.

Second floor features three bays filled with Chicago style commercial windows. Although these windows have been infilled somewhat, they retain integrity of outline. The design of these windows is rare in the Ames commercial district and their preservation is strongly encouraged. These windows are unusual because of their large size. The windows break with the vertical feeling of standard upper level fenestration in Ames commercial design and are significant because of their rarity of use in Ames rather than as representative of the city's commercial design. Actually these windows are improvements to the building dating several years after construction of the building. An historic photograph, reproduced in post card format by the Octagon Center for the Arts, pictures this building prior to installation of the new windows.

Broadly conceived in its scope, this commercial block and its association with the building at 230 Main Street, constitute one of the finest commercial designs in the central business district. This block employs a rare window design in Ames. This block and its neighbor to the east could be key buildings in an historic commercial district. This block could be counted as two resources depending on historical information which might come to light.

# Iowa Site Inventory

Bureau of Historic Preservation  
Iowa State Department of Cultural Affairs  
Capitol Complex  
Des Moines, Iowa 50319

Site Number 073  
District Name \_\_\_\_\_  
Map Reference \_\_\_\_\_

## Identification

1. Site Name L. C. TALLMAN BUILDING  
2. Village/Town/City AMES Township WASHINGTON County STORY  
3. Street Address 236 MAIN STREET  
4. Legal Location  
Urban: \_\_\_\_\_ subdivision \_\_\_\_\_ block \_\_\_\_\_ parcel \_\_\_\_\_ subparcel \_\_\_\_\_  
Rural: \_\_\_\_\_ township \_\_\_\_\_ range \_\_\_\_\_ section \_\_\_\_\_ 1/4 section of 1/4 section \_\_\_\_\_  
5. UTM Location: zone \_\_\_\_\_ easting \_\_\_\_\_ northing \_\_\_\_\_ ; Acreage \_\_\_\_\_  
6. Owner(s) Name \_\_\_\_\_  
7. Owner(s) Address \_\_\_\_\_  
(Street address) (City) (State) (Zip)  
8. Use: Present COMMERCIAL Original COMMERCIAL

## Description

9. Date of Construction: PRIOR TO 1907 Architect/Builder \_\_\_\_\_  
10. Building Type  
 single-family dwelling  industrial  other institutional  religious  
 multiple-family dwelling  education  public  agricultural  
 commercial  
11. Exterior walls:  clapboard  stone  brick  board and batten  shingles  stucco  
 other \_\_\_\_\_  
12. Structural System:  wood frame with interlocking joints  wood frame with light members (balloon frame)  
 masonry load-bearing walls  iron frame  steel frame with curtain walls  reinforced concrete  
 other \_\_\_\_\_  
13. Condition:  excellent  good  fair  deteriorated  
14. Integrity:  original site  moved--if so, when? \_\_\_\_\_  
Notes on alterations, additions (with dates and architect, if known) and any other notable features of building and site:  
\_\_\_\_\_  
(see next page)  
15. Related Outbuildings and Property:  barn  other farm structures  carriage house  garage  privy  
 other \_\_\_\_\_  
16. Is the building endangered:  no  yes--if so, why? \_\_\_\_\_  
17. Surroundings of the building:  open land  woodland  scattered outbuildings  densely built-up  commercial  
 industrial  residential  other \_\_\_\_\_

18. Map

19. Photo looking S Photographer \_\_\_\_\_ Page \_\_\_\_\_



# Significance

(Indicate sources of information for all statements)

## 20. Architectural Significance

- a. Ames Contributing (Key structure/individually may qualify for the National Register)
- b. Ames Compatible (Contributing structure)
- c. Ames Noncontributing (Not eligible/intrusion)

This is a one-story, brick commercial building. Although the building now reads as a two-room wide facade, historically the building's configuration has been that of a one-room facade. It is presently associated with 240 Main Street because each of these buildings now shares a common design.

On November 22, 1987 a fire caused extensive damage to this building. It was subsequently necessary to remove the second floor from this building. Additional alterations were also undertaken to return it to service. Because of great changes in appearance, this building is evaluated as an intrusion in an historic commercial district.

## 21. Historical Significance

Theme(s) \_\_\_\_\_

- a. Ames Contributing (Key structure/individually may qualify for the National Register)
- b. Ames Compatible (Contributing structure)
- c. Ames Noncontributing (Not eligible/intrusion)

Historical significance does not obtain for this building because of its present condition.

## 22. Sources (for primary and secondary sources, give complete facts of publication: author, title, place of publication, date, etc

Prepared by William C. Page, Public Historian Date Fall 1991  
 Address 104 Southwest Fourth Street Des Moines, IA 50309 Telephone 515/280-8026 -  
 Organization The Dunbar/Jones Partnership

## For Office of Historic Preservation Use Only

### 1. Office Information Sources on this Property

- County Resource File \_\_\_\_\_
- Windshield Survey \_\_\_\_\_
- National Register \_\_\_\_\_
- Grants-in-Aid: \_\_\_\_\_
- Determination of Eligibility \_\_\_\_\_

Review and Compliance Project:

- Other \_\_\_\_\_
- Other \_\_\_\_\_
- Other \_\_\_\_\_

### 2. Subject Traces

- a. \_\_\_\_\_
- b. \_\_\_\_\_
- c. \_\_\_\_\_
- d. \_\_\_\_\_
- e. \_\_\_\_\_

### 3. Photo Images \_\_\_\_\_

- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_

# Iowa Site Inventory

Bureau of Historic Preservation  
Iowa State Department of Cultural Affairs  
Capitol Complex  
Des Moines, Iowa 50319

Site Number 074  
District Name \_\_\_\_\_  
Map Reference \_\_\_\_\_

## Identification

1. Site Name COMMERCIAL BUILDING
2. Village/Town/City AMES Township WASHINGTON County STORY
3. Street Address 238 MAIN STREET
4. Legal Location \_\_\_\_\_  
Urban: \_\_\_\_\_ subdivision \_\_\_\_\_ block \_\_\_\_\_ parcel \_\_\_\_\_ subparcel \_\_\_\_\_  
Rural: \_\_\_\_\_ township \_\_\_\_\_ range \_\_\_\_\_ section \_\_\_\_\_ 1/4 section of 1/4 section \_\_\_\_\_
5. UTM Location: zone \_\_\_\_\_ easting \_\_\_\_\_ northing \_\_\_\_\_ ; Acreage \_\_\_\_\_
6. Owner(s) Name \_\_\_\_\_
7. Owner(s) Address: \_\_\_\_\_  
(Street address) (City) (State) (Zip)
8. Use: Present COMMERCIAL Original COMMERCIAL

## Description

9. Date of Construction: \_\_\_\_\_ Architect/Builder \_\_\_\_\_
10. Building Type  
 single-family dwelling  industrial  other institutional  religious  
 multiple-family dwelling  education  public  agricultural  
 commercial
11. Exterior walls:  clapboard  stone  brick  board and batten  shingles  stucco  
 other \_\_\_\_\_
12. Structural System:  wood frame with interlocking joints  wood frame with light members (balloon frame)  
 masonry load-bearing walls  iron frame  steel frame with curtain walls  reinforced concrete  
 other \_\_\_\_\_
13. Condition:  excellent  good  fair  deteriorated
14. Integrity:  original site  moved--if so, when? \_\_\_\_\_  
Notes on alterations, additions (with dates and architect, if known) and any other notable features of building and site:  
(see next page)
15. Related Outbuildings and Property:  barn  other farm structures  carriage house  garage  privy  
 other \_\_\_\_\_
16. Is the building endangered:  no  yes--if so, why? \_\_\_\_\_
17. Surroundings of the building:  open land  woodland  scattered outbuildings  densely built-up  commercial  
 industrial  residential  other \_\_\_\_\_
18. Map \_\_\_\_\_
19. Photo looking S Photographer Wirth



**Significance**

(Indicate sources of information for all statements)

**20. Architectural Significance**

- a. Ames Contributing (Key structure/individually may qualify for the National Register)
- b. Ames Compatible (Contributing structure)
- c. Ames Noncontributing (Not eligible/intrusion)

This is a one-story, brick commercial building. Although the building now reads as a two-room wide facade, historically the building's configuration has been that of a one-room facade. It is presently associated with 240 Main Street because each of these buildings now shares a common design.

On November 22, 1987 a fire caused extensive damage to this building. It was subsequently necessary to remove the second floor from this building. Additional alterations were also undertaken to return it to service. Because of great changes in appearance, this building is evaluated as an intrusion in an historic commercial district.

**21. Historical Significance**

Theme(s) \_\_\_\_\_

- a. Ames Contributing (Key structure/individually may qualify for the National Register)
- b. Ames Compatible (Contributing structure)
- c. Ames Noncontributing (Not eligible/intrusion)

Historical significance does not obtain for this building because of its present condition.

**22. Sources** (for primary and secondary sources, give complete facts of publication: author, title, place of publication, date, etc)

Prepared by William C. Page, Public Historian Date Fall 1991  
 Address 104 Southwest Fourth Street Des Moines, IA 50309 Telephone 515/280-8026 -  
 Organization The Dunbar/Jones Partnership

**For Office of Historic Preservation Use Only**

**1. Office Information Sources on this Property**

- County Resource File \_\_\_\_\_
- Windshield Survey \_\_\_\_\_
- National Register \_\_\_\_\_
- Grants-in-Aid: \_\_\_\_\_
- Determination of Eligibility \_\_\_\_\_

**[ ] Review and Compliance Project:**

- Other \_\_\_\_\_
- Other \_\_\_\_\_
- Other \_\_\_\_\_

**2. Subject Traces**

- a. \_\_\_\_\_
- b. \_\_\_\_\_
- c. \_\_\_\_\_
- d. \_\_\_\_\_
- e. \_\_\_\_\_

**3. Photo Images** \_\_\_\_\_

- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_

# Iowa Site Inventory

Bureau of Historic Preservation  
Iowa State Department of Cultural Affairs  
Capitol Complex  
Des Moines, Iowa 50319

Site Number 075  
District Name \_\_\_\_\_  
Map Reference \_\_\_\_\_

## Identification

1. Site Name AMES SAVINGS BANK BUILDING
2. Village/Town/City AMES Township WASHINGTON County STORY
3. Street Address 240 MAIN STREET
4. Legal Location  
Urban: \_\_\_\_\_ subdivision \_\_\_\_\_ block \_\_\_\_\_ parcel \_\_\_\_\_ subparcel \_\_\_\_\_  
Rural: \_\_\_\_\_ township \_\_\_\_\_ range \_\_\_\_\_ section \_\_\_\_\_ 1/4 section of 1/4 section \_\_\_\_\_
5. UTM Location: zone \_\_\_\_\_ easting \_\_\_\_\_ northing \_\_\_\_\_; Acreage \_\_\_\_\_
6. Owner(s) Name \_\_\_\_\_
7. Owner(s) Address \_\_\_\_\_  
(Street address) (City) (State) (Zip)
8. Use: Present COMMERCIAL Original COMMERCIAL

## Description

9. Date of Construction: 1913 Architect/Builder \_\_\_\_\_
10. Building Type  
 single-family dwelling  industrial  other institutional  religious  
 multiple-family dwelling  education  public  agricultural  
 commercial
11. Exterior walls:  clapboard  stone  brick  board and batten  shingles  stucco  
 other \_\_\_\_\_
12. Structural System:  wood frame with interlocking joints  wood frame with light members (balloon frame)  
 masonry load-bearing walls  iron frame  steel frame with curtain walls  reinforced concrete  
 other \_\_\_\_\_
13. Condition:  excellent  good  fair  deteriorated
14. Integrity:  original site  moved--if so, when? \_\_\_\_\_  
Notes on alterations, additions (with dates and architect, if known) and any other notable features of building and site:  
\_\_\_\_\_  
(see next page)
15. Related Outbuildings and Property:  barn  other farm structures  carriage house  garage  privy  
 other \_\_\_\_\_
16. Is the building endangered:  no  yes--if so, why? \_\_\_\_\_
17. Surroundings of the building:  open land  woodland  scattered outbuildings  densely built-up  commercial  
 industrial  residential  other \_\_\_\_\_
18. Map \_\_\_\_\_
19. Photo looking S Photographer Wirth



# Significance

(Indicate sources of information for all statements)

## 20. Architectural Significance

- a. Ames Contributing (Key structure/individually may qualify for the National Register)
- b. Ames Compatible (Contributing structure)
- c. Ames Noncontributing (Not eligible/intrusion)

## 21. Historical Significance

Theme(s) \_\_\_\_\_

- a. Ames Contributing (Key structure/individually may qualify for the National Register)
- b. Ames Compatible (Contributing structure)
- c. Ames Noncontributing (Not eligible/intrusion)

The Ames Savings Bank was established in 1903 by A. J. Graves and Milo Manning. It occupied when first constructed, as it does now, a key position in Ames central business district at the intersection of Kellogg and Main Street. Three corners of this intersection have been occupied historically by bank buildings.

The present condition of the building precludes any claim to historical significance.

## 22. Sources (for primary and secondary sources, give complete facts of publication: author, title, place of publication, date, etc)

Prepared by William C. Page, Public Historian Date Fall 1991  
Address 104 Southwest Fourth Street Des Moines, IA 50309 Telephone 515/280-8026  
Organization The Dunbar/Jones Partnership

## For Office of Historic Preservation Use Only

### 1. Office Information Sources on this Property

- County Resource File \_\_\_\_\_
- Windshield Survey \_\_\_\_\_
- National Register \_\_\_\_\_
- Grants-in-Aid: \_\_\_\_\_
- Determination of Eligibility \_\_\_\_\_

Review and Compliance Project: \_\_\_\_\_

- Other \_\_\_\_\_
- Other \_\_\_\_\_
- Other \_\_\_\_\_

### 2. Subject Traces

- a. \_\_\_\_\_
- b. \_\_\_\_\_
- c. \_\_\_\_\_
- d. \_\_\_\_\_
- e. \_\_\_\_\_

### 3. Photo Images \_\_\_\_\_

- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_

# Iowa Site Inventory

Bureau of Historic Preservation  
Iowa State Department of Cultural Affairs  
Capitol Complex  
Des Moines, Iowa 50319

Site Number 075

## CONTINUATION SHEET

### Significance

#### 20. Architectural Significance

This is a one-story, brick commercial building with a one-room wide facade. It is presently associated with 238 Main Street because each of these buildings shares a common design.

In 1913 this building was constructed from designs by Liebbe, Nourse and Rasmussen, architects of Des Moines. This was one building among a handful designed by the firm in Ames. Others include the 1900-1901 President's House "The Knoll", 1910 Landscape Architecture Building, the 1901 Emergency Hall (Liebbe), and the 1900 Stock Pavilion (aka Theatre Building), all on the ISU campus. Other LNR designs included the Masonic Temple of 1916, Mary Greeley Hospital also of that year, and possibly the extensive renovations of the Wallace and Mary Greeley House on the corner of Douglas and 5th.

On November 22, 1987, a fire in this building caused extensive damage. It was subsequently necessary to remove the second floor from this building. Additional alterations to the building were also undertaken to return it to service. Because of great changes in appearance, this building is evaluated as an intrusion in an historic commercial district.



# Iowa Site Inventory

Bureau of Historic Preservation  
Iowa State Department of Cultural Affairs  
Capitol Complex  
Des Moines, Iowa 50319

Site Number 076  
District Name \_\_\_\_\_  
Map Reference \_\_\_\_\_

## Identification

1. Site Name ADAMS GROCERY STORE-COMMERCIAL SAVINGS BANK  
2. Village/Town/City AMES Township WASHINGTON County STORY  
3. Street Address 300 MAIN STREET  
4. Legal Location: \_\_\_\_\_  
Urban: subdivision block parcel subparcel  
Rural: township range section 1/4 section of 1/4 section  
5. UTM Location: zone \_\_\_\_\_ easting \_\_\_\_\_ northing \_\_\_\_\_ ; Acreage \_\_\_\_\_  
6. Owner(s) Name \_\_\_\_\_  
7. Owner(s) Address \_\_\_\_\_  
(Street address) (City) (State) (Zip)  
8. Use: Present COMMERCIAL Original COMMERCIAL

## Description

9. Date of Construction: BET. 1900-1911\* Architect/Builder \_\_\_\_\_  
10. Building Type  
 single-family dwelling  industrial  other institutional  religious  
 multiple-family dwelling  education  public  agricultural  
 commercial  
11. Exterior walls:  clapboard  stone  brick  board and batten  shingles  stucco  
 other \_\_\_\_\_  
12. Structural System:  wood frame with interlocking joints  wood frame with light members (balloon frame)  
 masonry load-bearing walls  iron frame  steel frame with curtain walls  reinforced concrete  
 other \_\_\_\_\_  
13. Condition:  excellent  good  fair  deteriorated  
14. Integrity:  original site  moved--if so, when? \_\_\_\_\_  
Notes on alterations, additions (with dates and architect, if known) and any other notable features of building and site:  
\_\_\_\_\_(see next page)  
15. Related Outbuildings and Property:  barn  other farm structures  carriage house  garage  privy  
 other \_\_\_\_\_  
16. Is the building endangered:  no  yes--if so, why? \_\_\_\_\_  
17. Surroundings of the building:  open land  woodland  scattered outbuildings  densely built-up  commercial  
 industrial  residential  other \_\_\_\_\_

18. Map

19. Photo looking SW Photographer \_\_\_\_\_ Page \_\_\_\_\_



# Significance

(Indicate sources of information for all statements)

## 20. Architectural Significance

- a. Ames Contributing (Key structure/individually may qualify for the National Register)
- b. Ames Compatible (Contributing structure)
- c. Ames Noncontributing (Not eligible/intrusion)

See continuation sheet.

## 21. Historical Significance

Theme(s) \_\_\_\_\_

- a. Ames Contributing (Key structure/individually may qualify for the National Register)
- b. Ames Compatible (Contributing structure)
- c. Ames Noncontributing (Not eligible/intrusion)

This building (and its associated building at 302) is historically significant because its construction between 1900 and 1911 calls attention to the upbuilding of the 300 block of Main Street. Prior to its construction, the south side of this block was largely vacant and what buildings stood here were mixed--a dwelling and a vacant lumber yard--"buildings not in use" (according to a 1900 fire insurance map). When 300 and 302 were constructed, they provided a major anchor to this corner and encouraged further construction to the west.

## 22. Sources (for primary and secondary sources, give complete facts of publication: author, title, place of publication, date, etc

\* Sanborn fire insurance maps for 1900 and 1911.

Prepared by William C. Page, Public Historian Date Fall 1991  
 Address 104 Southwest Fourth Street Des Moines, IA 50309 Telephone 515/280-8026  
 Organization The Dunbar/Jones Partnership

## For Office of Historic Preservation Use Only

### 1. Office Information Sources on this Property

- County Resource File \_\_\_\_\_
- Windshield Survey \_\_\_\_\_
- National Register \_\_\_\_\_
- Grants-in-Aid: \_\_\_\_\_
- Determination of Eligibility \_\_\_\_\_

### Review and Compliance Project:

- Other \_\_\_\_\_
- Other \_\_\_\_\_
- Other \_\_\_\_\_

### 2. Subject Traces

- a. \_\_\_\_\_
- b. \_\_\_\_\_
- c. \_\_\_\_\_
- d. \_\_\_\_\_
- e. \_\_\_\_\_

### 3. Photo Images \_\_\_\_\_

- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_

# Iowa Site Inventory

Bureau of Historic Preservation  
Iowa State Department of Cultural Affairs  
Capitol Complex  
Des Moines, Iowa 50319

Site Number 076

## CONTINUATION SHEET

### Significance

#### 20. Architectural Significance

This is a two-story, brick commercial building with a one-room wide facade. Constructed between 1900 and 1911, this building may have been built at the same time and in conjunction with 302 Main. Both commercial rooms share, for example, hollow tile load bearing walls. 300 retains a high level of architectural integrity. The second floor windows appear to be original and feature 1/1 double hung sash. The building has a cornice with "I" motifs worked in brick. Brick is a mottled maroon and brown color. As noted below, later improvements to the building were undertaken to convert it into a bank. These improvements included installing cast concrete elements on the storefront and replacing the beveled corner of the building with a right angle design.

Prior to remodeling in 1920, this building served as Adams Grocery Store. A picture of this building is featured on page 72 of *Ames Community History*. In 1920 E. J. Engeldinger and M. A. Manning, bank officers of the Commercial Savings Bank, purchased this building and proceeded to remodel it into a new home for the bank. Although leaving the second story virtually intact, the alterations substantially improved the building. These improvements included the introduction of cast concrete decorative trim.

In a 1921 feature story, the *Ames Daily Tribune* reported: "An unusual feature of the interior bank arrangement is the room for the bookkeeping department...The vault accommodations are commodious and designed to allow the maximum of efficiency..."

This building is significant because its original construction calls attention to a straight forward, simple, and no-nonsense commercial design which derives architectural interest from subtle elements like varied colors of brick, a restrained cornice, and stringcourses. This building is also significant architecturally because its remodeling in 1920 calls attention to the use of cast concrete in the central business district. The use of this material in the remodeling of 1920 resembles a similar use on Liebbe, Nourse, and Rasmussen's Masonic Temple at the corner of 5th and Douglas.

# Iowa Site Inventory

Bureau of Historic Preservation  
Iowa State Department of Cultural Affairs  
Capitol Complex  
Des Moines, Iowa 50319

Site Number 076

## CONTINUATION SHEET



Adams Grocery Store (Before Remodeling)

# Iowa Site Inventory

Bureau of Historic Preservation  
Iowa State Department of Cultural Affairs  
Capitol Complex  
Des Moines, Iowa 50319

Site Number 077  
District Name \_\_\_\_\_  
Map Reference \_\_\_\_\_

## Identification

1. Site Name COMMERCIAL BUILDING  
2. Village/Town/City AMES Township WASHINGTON County STORY  
3. Street Address 302 MAIN STREET  
4. Legal Location  
Urban: \_\_\_\_\_ subdivision \_\_\_\_\_ block \_\_\_\_\_ parcel \_\_\_\_\_ subparcel \_\_\_\_\_  
Rural: \_\_\_\_\_ township \_\_\_\_\_ range \_\_\_\_\_ section \_\_\_\_\_ 1/4 section of 1/4 section \_\_\_\_\_  
5. UTM Location: zone \_\_\_\_\_ easting \_\_\_\_\_ northing \_\_\_\_\_ ; Acreage \_\_\_\_\_  
6. Owner(s) Name \_\_\_\_\_  
7. Owner(s) Address \_\_\_\_\_  
(Street address) (City) (State) (Zip)  
8. Use: Present COMMERCIAL Original COMMERCIAL

## Description

9. Date of Construction: BET. 1900-1911\* Architect/Builder \_\_\_\_\_  
10. Building Type  
 single-family dwelling  industrial  other institutional  religious  
 multiple-family dwelling  education  public  agricultural  
 commercial  
11. Exterior walls:  clapboard  stone  brick  board and batten  shingles  stucco  
 other \_\_\_\_\_  
12. Structural System:  wood frame with interlocking joints  wood frame with light members (balloon frame)  
 masonry load-bearing walls  iron frame  steel frame with curtain walls  reinforced concrete  
 other \_\_\_\_\_  
13. Condition:  excellent  good  fair  deteriorated  
14. Integrity:  original site  moved--if so, when? \_\_\_\_\_  
Notes on alterations, additions (with dates and architect, if known) and any other notable features of building and site:  
\_\_\_\_\_  
(see next page)  
15. Related Outbuildings and Property:  barn  other farm structures  carriage house  garage  privy  
 other \_\_\_\_\_  
16. Is the building endangered:  no  yes--if so, why? \_\_\_\_\_  
17. Surroundings of the building:  open land  woodland  scattered outbuildings  densely built-up  commercial  
 industrial  residential  other \_\_\_\_\_

18. Map

19. Photo looking S Photographer Wirth



**Significance**

(Indicate sources of information for all statements)

**20. Architectural Significance**

- a. Ames Contributing (Key structure/individually may qualify for the National Register)
- b. Ames Compatible (Contributing structure)
- c. Ames Noncontributing (Not eligible/intrusion)

See continuation sheet.

**21. Historical Significance**

Theme(s) \_\_\_\_\_

- a. Ames Contributing (Key structure/individually may qualify for the National Register)
- b. Ames Compatible (Contributing structure)
- c. Ames Noncontributing (Not eligible/intrusion)

For many years this building housed Eschbach's Music House which featured phonograph records (with listening booths), pianos, radios, string and band instruments, sheet music, and other music related merchandise. Music lessons were also given from this store.

This building (and its associated building to the west) is historically significant because its construction between 1900 and 1911 calls attention to the upbuilding of the 300 block of Main Street. Prior to its construction, the south side of this block was largely vacant and what buildings stood here were mixed--a dwelling and a vacant lumber yard --"buildings not in use" (according to a 1900 fire insurance map). When 300 and 302 Main were constructed, they provided a major anchor to this corner and encouraged further construction to the west.

**22. Sources** (for primary and secondary sources, give complete facts of publication: author, title, place of publication, date, etc

\* Sanborn fire insurance maps.

Prepared by William C. Page, Public Historian Date Fall 1991  
 Address 104 Southwest Fourth Street Des Moines, IA 50309 Telephone 515/280-8026  
 Organization The Dunbar/Jones Partnership

**For Office of Historic Preservation Use Only**

**1. Office Information Sources on this Property**

- County Resource File \_\_\_\_\_
- Windshield Survey \_\_\_\_\_
- National Register \_\_\_\_\_
- Grants-in-Aid: \_\_\_\_\_
- Determination of Eligibility \_\_\_\_\_

Review and Compliance Project:

- Other \_\_\_\_\_
- Other \_\_\_\_\_
- Other \_\_\_\_\_

**2. Subject Traces**

- a. \_\_\_\_\_
- b. \_\_\_\_\_
- c. \_\_\_\_\_
- d. \_\_\_\_\_
- e. \_\_\_\_\_

**3. Photo Images** \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

# Iowa Site Inventory

Bureau of Historic Preservation  
Iowa State Department of Cultural Affairs  
Capitol Complex  
Des Moines, Iowa 50319

Site Number 077

## CONTINUATION SHEET

### Significance

#### 20. Architectural Significance

This is a two-story, brick commercial building with a one-room wide facade. The building features brick of a dark brown color, a brickworked cornice with stylized dentils somewhat similar to 230 and 232-234 Main, three brickworked plaques, and segmental arches above the second-story windows. These windows are 1/1 double hung sash type. Although they may not be the original windows, the present configuration is similar to the original one. The sills of these windows are cast concrete with rough-faced stone texture. The sills connect with a horizontal inset band of similar material. Although the first-floor storefront is a total alteration, it appears to respect the original cavity area. The transom is covered with material which extends above the original cavity, but original fabric may remain behind this covering.

This building is significant because it represents an early example of a structure influenced by the commercial style of architecture.

# Iowa Site Inventory

Bureau of Historic Preservation  
Iowa State Department of Cultural Affairs  
Capitol Complex  
Des Moines, Iowa 50319

Site Number 078  
District Name \_\_\_\_\_  
Map Reference \_\_\_\_\_

## Identification

1. Site Name COMMERCIAL BUILDING
2. Village/Town/City AMES Township WASHINGTON County STORY
3. Street Address 304-306 MAIN STREET
4. Legal Location \_\_\_\_\_  
Urban: \_\_\_\_\_ subdivision \_\_\_\_\_ block \_\_\_\_\_ parcel \_\_\_\_\_ subparcel \_\_\_\_\_  
Rural: \_\_\_\_\_ township \_\_\_\_\_ range \_\_\_\_\_ section \_\_\_\_\_ 1/4 section of 1/4 section \_\_\_\_\_
5. UTM Location: zone \_\_\_\_\_ easting \_\_\_\_\_ northing \_\_\_\_\_ ; Acreage \_\_\_\_\_
6. Owner(s) Name \_\_\_\_\_
7. Owner(s) Address \_\_\_\_\_  
(Street address) (City) (State) (Zip)
8. Use: Present COMMERCIAL Original COMMERCIAL

## Description

9. Date of Construction: BET. 1920-1926\* Architect/Builder \_\_\_\_\_
10. Building Type  
 single-family dwelling  industrial  other institutional  religious  
 multiple-family dwelling  education  public  agricultural  
 commercial
11. Exterior walls:  clapboard  stone  brick  board and batten  shingles  stucco  
 other \_\_\_\_\_
12. Structural System:  wood frame with interlocking joints  wood frame with light members (balloon frame)  
 masonry load-bearing walls  iron frame  steel frame with curtain walls  reinforced concrete  
 other \_\_\_\_\_
13. Condition:  excellent  good  fair  deteriorated
14. Integrity:  original site  moved--if so, when? \_\_\_\_\_  
Notes on alterations, additions (with dates and architect, if known) and any other notable features of building and site:  
\_\_\_\_\_ (see next page)
15. Related Outbuildings and Property:  barn  other farm structures  carriage house  garage  privy  
 other \_\_\_\_\_
16. Is the building endangered:  no  yes--if so, why? \_\_\_\_\_
17. Surroundings of the building:  open land  woodland  scattered outbuildings  densely built-up  commercial  
 industrial  residential  other \_\_\_\_\_
18. Map \_\_\_\_\_
19. Photo looking SW Photographer Wirth





# Significance

(Indicate sources of information for all statements)

## 20. Architectural Significance

- a. Ames Contributing (Key structure/individually may qualify for the National Register)
- b. Ames Compatible (Contributing structure)
- c. Ames Noncontributing (Not eligible/intrusion)

See continuation sheet.

## 21. Historical Significance

Theme(s) \_\_\_\_\_

- a. Ames Contributing (Key structure/individually may qualify for the National Register)
- b. Ames Compatible (Contributing structure)
- c. Ames Noncontributing (Not eligible/intrusion)

This building is significant because it calls attention to the upbuilding of the 300 block of Main Street. Construction during the 1920s, in particular, changed the image of this portion of the central business district into an upscale section of downtown Ames. This transformation calls attention to the booming Ames economy during the period and merchants' response to the business opportunities which it presented.

This resource might be counted as two buildings if the commercial usage of the building has two separate and significant businesses.

## 22. Sources (for primary and secondary sources, give complete facts of publication: author, title, place of publication, date, etc

\* Sanborn fire insurance maps for 1920 and 1926.

Prepared by William C. Page, Public Historian Date Fall 1991  
Address 104 Southwest Fourth Street Des Moines, IA 50309 Telephone 515/280-8026  
Organization The Dunbar/Jones Partnership

## For Office of Historic Preservation Use Only

### 1. Office Information Sources on this Property

- County Resource File \_\_\_\_\_
- Windshield Survey \_\_\_\_\_
- National Register \_\_\_\_\_
- Grants-in-Aid: \_\_\_\_\_
- Determination of Eligibility \_\_\_\_\_

Review and Compliance Project:

- Other \_\_\_\_\_
- Other \_\_\_\_\_
- Other \_\_\_\_\_

### 2. Subject Traces

- a. \_\_\_\_\_
- b. \_\_\_\_\_
- c. \_\_\_\_\_
- d. \_\_\_\_\_
- e. \_\_\_\_\_

### 3. Photo Images \_\_\_\_\_

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\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

# Iowa Site Inventory

Bureau of Historic Preservation  
Iowa State Department of Cultural Affairs  
Capitol Complex  
Des Moines, Iowa 50319

Site Number 078

## CONTINUATION SHEET

### Significance

#### 20. Architectural Significance

This is a two-story, brick commercial block with a two-room wide facade. It features red brick with trim in a red and tawny brown color. A plaque area near the building's parapet defines each of the commercial rooms and a third plaque is situated at the central portion of the building. These plaques are defined by brick inset from the face of the facade and laid butt ended. Below this there is a three course Flemish bond band with the butt ended brick in a brown color and the stretcher brick in a red color. Each commercial room has, on the second floor, a pair of Chicago style windows. These relate in feeling to those which were installed at 232-234 Main Street. A newer metal coping now caps the building. Although the first floor storefront is totally altered now, it respects the original cavity of the building. The covering in the transom area may only hide original Luxfer type glass.

This building is significant because it calls attention to the commercial style of architecture in Ames. Notable in this regard are the two sets of Chicago style windows on the second floor and the complex patterns and textures of the facade achieved through a variety of brickwork. This is an outstanding building in the central business district with particularly rich architectural detailing. The building also retains considerable integrity of its historic fabric.

The complexity of the facade design suggests the planning of a professional architect.

# Iowa Site Inventory

Bureau of Historic Preservation  
Iowa State Department of Cultural Affairs  
Capitol Complex  
Des Moines, Iowa 50319

Site Number 079  
District Name \_\_\_\_\_  
Map Reference \_\_\_\_\_

## Identification

1. Site Name COMMERCIAL BUILDING
2. Village/Town/City AMES Township WASHINGTON County STORY
3. Street Address 308 MAIN STREET
4. Legal Location
- | Urban:<br>Rural: | subdivision<br>township | block<br>range | parcel<br>section | subparcel<br>1/4 section of 1/4 section |
|------------------|-------------------------|----------------|-------------------|---|
|                  |                         |                |                   |   |
5. UTM Location: zone \_\_\_\_\_ easting \_\_\_\_\_ northing \_\_\_\_\_ ; Acreage \_\_\_\_\_
6. Owner(s) Name \_\_\_\_\_
7. Owner(s) Address \_\_\_\_\_  
(Street address) (City) (State) (Zip)
8. Use: Present COMMERCIAL Original COMMERCIAL

## Description

9. Date of Construction: BET. 1911-1920\* Architect/Builder \_\_\_\_\_
10. Building Type
- |   |                                     |  |                                       |
|---|-------------------------------------|--|---------------------------------------|
| <input type="checkbox"/> single-family dwelling   | <input type="checkbox"/> industrial | <input type="checkbox"/> other institutional | <input type="checkbox"/> religious    |
| <input type="checkbox"/> multiple-family dwelling | <input type="checkbox"/> education  | <input type="checkbox"/> public              | <input type="checkbox"/> agricultural |
| <input checked="" type="checkbox"/> commercial    |                                     |  |                                       |
11. Exterior walls:  clapboard  stone  brick  board and batten  shingles  stucco  
 other \_\_\_\_\_
12. Structural System:  wood frame with interlocking joints  wood frame with light members (balloon frame)  
 masonry load-bearing walls  iron frame  steel frame with curtain walls  reinforced concrete  
 other \_\_\_\_\_
13. Condition:  excellent  good  fair  deteriorated
14. Integrity:  original site  moved--if so, when? \_\_\_\_\_  
Notes on alterations, additions (with dates and architect, if known) and any other notable features of building and site:  
(see next page)
15. Related Outbuildings and Property:  barn  other farm structures  carriage house  garage  privy  
 other \_\_\_\_\_
16. Is the building endangered:  no  yes--if so, why? \_\_\_\_\_
17. Surroundings of the building:  open land  woodland  scattered outbuildings  densely built-up  commercial  
 industrial  residential  other \_\_\_\_\_

18. Map

19. Photo looking \_\_\_\_\_ Photographer \_\_\_\_\_

Photo Unavailable

# Significance

(Indicate sources of information for all statements)

## 20. Architectural Significance

- a. Ames Contributing (Key structure/individually may qualify for the National Register)
- b. Ames Compatible (Contributing structure)
- c. Ames Noncontributing (Not eligible/intrusion)

See continuation sheet.

## 21. Historical Significance

Theme(s) \_\_\_\_\_

- a. Ames Contributing (Key structure/individually may qualify for the National Register)
- b. Ames Compatible (Contributing structure)
- c. Ames Noncontributing (Not eligible/intrusion)

This building (and its associated building at 310) is historically significant because its construction between 1911 and 1920 calls attention to the upbuilding of the 300 block of Main Street. During the first decade of the Twentieth Century, the south side of this block was largely vacant and what buildings stood here were mixed--a dwelling and a vacant lumber yard--"buildings not in use" (according to a 1900 fire insurance map). When 308 and 310 Main were constructed, they helped define this portion of the central business district as an "up-and-coming" section.

## 22. Sources (for primary and secondary sources, give complete facts of publication: author, title, place of publication, date, etc

\* Sanborn fire insurance maps for 1911 and 1920.

Prepared by William C. Page, Public Historian Date Fall 1991  
 Address 104 Southwest Fourth Street Des Moines, IA 50309 Telephone 515/280-8026  
 Organization The Dunbar/Jones Partnership

## For Office of Historic Preservation Use Only

### 1. Office Information Sources on this Property

- County Resource File \_\_\_\_\_
- Windshield Survey \_\_\_\_\_
- National Register \_\_\_\_\_
- Grants-in-Aid: \_\_\_\_\_
- Determination of Eligibility \_\_\_\_\_

### [ ] Review and Compliance Project:

- Other \_\_\_\_\_
- Other \_\_\_\_\_
- Other \_\_\_\_\_

### 2. Subject Traces

- a. \_\_\_\_\_
- b. \_\_\_\_\_
- c. \_\_\_\_\_
- d. \_\_\_\_\_
- e. \_\_\_\_\_

### 3. Photo Images \_\_\_\_\_

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 \_\_\_\_\_

# Iowa Site Inventory

Bureau of Historic Preservation  
Iowa State Department of Cultural Affairs  
Capitol Complex  
Des Moines, Iowa 50319

Site Number 79

## CONTINUATION SHEET

### Significance

#### 20. Architectural Significance

This is a two-story, brick commercial building with a one-room wide facade. It is associated with 310 and both buildings appear to have been built at the same time. They share a common entrance to the second floor located between the two buildings. 308 features brick of a tawny yellow and reddish color. The second floor has an exceptionally large plaque area beneath the parapet. It is brickworked in a checkerboard pattern and features the two colors of brick already mentioned. The second floor also has 1/1 double hung sash type windows. The sills of these windows break with the common horizontal which all second floor window sills share from 300 to 306 Main. Although the storefront area is totally altered, it respects the original cavity of the building. The metal grillwork above the storefront dates from the 1950s or later. Although it distracts from the over-all simplicity of the Ames central business district, it does not impair the integrity of the building.

This building is significant because it calls attention to the commercial style of architecture as constructed in Ames. The rather simple conception of the facade suggests its design by a local contractor-builder rather than an architect. The building is also significant architecturally because it demonstrates the trend in Ames during the period to differentiate between commercial rooms even when they are built as commercial blocks. The use of one color brick at 308 and another color brick at 310 dramatically points this out. Because these buildings were constructed in tandem and at the same time, they point out that the desire to differentiate was not restricted to property owners who face lifted their buildings.

# Iowa Site Inventory

Bureau of Historic Preservation  
Iowa State Department of Cultural Affairs  
Capitol Complex  
Des Moines, Iowa 50319

Site Number 080  
District Name \_\_\_\_\_  
Map Reference \_\_\_\_\_

## Identification

1. Site Name COMMERCIAL BUILDING
2. Village/Town/City AMES Township WASHINGTON County STORY
3. Street Address 310 MAIN STREET
4. Legal Location  
Urban: \_\_\_\_\_ subdivision \_\_\_\_\_ block \_\_\_\_\_ parcel \_\_\_\_\_ subparcel \_\_\_\_\_  
Rural: \_\_\_\_\_ township \_\_\_\_\_ range \_\_\_\_\_ section \_\_\_\_\_ 1/4 section of 1/4 section \_\_\_\_\_
5. UTM Location: zone \_\_\_\_\_ easting \_\_\_\_\_ northing \_\_\_\_\_ ; Acreage \_\_\_\_\_
6. Owner(s) Name \_\_\_\_\_
7. Owner(s) Address \_\_\_\_\_  
(Street address) (City) (State) (Zip)
8. Use: Present COMMERCIAL Original COMMERCIAL

## Description

9. Date of Construction: BET. 1911-1920\* Architect/Builder \_\_\_\_\_
10. Building Type  
 single-family dwelling  industrial  other institutional  religious  
 multiple-family dwelling  education  public  agricultural  
 commercial
11. Exterior walls:  clapboard  stone  brick  board and batten  shingles  stucco  
 other \_\_\_\_\_
12. Structural System:  wood frame with interlocking joints  wood frame with light members (balloon frame)  
 masonry load-bearing walls  iron frame  steel frame with curtain walls  reinforced concrete  
 other \_\_\_\_\_
13. Condition:  excellent  good  fair  deteriorated
14. Integrity:  original site  moved--if so, when? \_\_\_\_\_  
Notes on alterations, additions (with dates and architect, if known) and any other notable features of building and site:  
\_\_\_\_\_(see next page)
15. Related Outbuildings and Property:  barn  other farm structures  carriage house  garage  privy  
 other \_\_\_\_\_
16. Is the building endangered:  no  yes--if so, why? \_\_\_\_\_
17. Surroundings of the building:  open land  woodland  scattered outbuildings  densely built-up  commercial  
 industrial  residential  other \_\_\_\_\_
18. Map \_\_\_\_\_
19. Photo looking S Photographer Wirth



# Significance

(Indicate sources of information for all statements)

## 20. Architectural Significance

- a. Ames Contributing (Key structure/individually may qualify for the National Register)
- b. Ames Compatible (Contributing structure)
- c. Ames Noncontributing (Not eligible/intrusion)

See continuation sheet.

## 21. Historical Significance

Theme(s) \_\_\_\_\_

- a. Ames Contributing (Key structure/individually may qualify for the National Register)
- b. Ames Compatible (Contributing structure)
- c. Ames Noncontributing (Not eligible/intrusion)

This building (and its associated building at 308) is historically significant because its construction between 1911 and 1920 calls attention to the upbuilding of the 300 block of Main Street. During the first decade of the Twentieth Century, the south side of this block was largely vacant and what buildings stood here were mixed--a dwelling and a vacant lumber yard--"buildings not in use" (according to a 1900 fire insurance map). When 308 and 310 Main were constructed, they helped define this portion of the central business district as an "up-and-coming" section.

## 22. Sources (for primary and secondary sources, give complete facts of publication: author, title, place of publication, date, etc

\* Sanborn fire insurance maps for 1911 and 1920.

Prepared by William C. Page, Public Historian Date Fall 1991  
 Address 104 Southwest Fourth Street Des Moines, IA 50309 Telephone 515/280-8026  
 Organization The Dunbar/Jones Partnership

## For Office of Historic Preservation Use Only

### 1. Office Information Sources on this Property

- County Resource File \_\_\_\_\_
- Windshield Survey \_\_\_\_\_
- National Register \_\_\_\_\_
- Grants-in-Aid: \_\_\_\_\_
- Determination of Eligibility \_\_\_\_\_

### Review and Compliance Project:

- Other \_\_\_\_\_
- Other \_\_\_\_\_
- Other \_\_\_\_\_

### 2. Subject Traces

- a. \_\_\_\_\_
- b. \_\_\_\_\_
- c. \_\_\_\_\_
- d. \_\_\_\_\_
- e. \_\_\_\_\_

### 3. Photo Images \_\_\_\_\_

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# Iowa Site Inventory

Bureau of Historic Preservation  
Iowa State Department of Cultural Affairs  
Capitol Complex  
Des Moines, Iowa 50319

Site Number 080

## CONTINUATION SHEET

### Significance

#### 20. Architectural Significance

This is a two-story, brick commercial building with a one-room wide facade. It is associated with the commercial room at 308, and both buildings appear to have been built in tandem and at the same time. The building at 310 features brick in a deep maroon color. There is a brickworked cornice with stylized dentils. The building also contains a brickworked plaque. Second floor windows are 1/1 double hung sash type. The sills of these windows are rough-faced cast concrete similar to those employed at 302. Although the storefront has been altered, it respects the original cavity of the opening.

This building is significant because it calls attention to the commercial style of architecture as constructed in Ames. The rather simple conception of the facade suggests its design by a local contractor-builder rather than an architect. The building is also significant architecturally because it demonstrates the trend in Ames during the period to differentiate between commercial rooms even when they are built as commercial blocks. The use of one color brick at 308 and another color brick at 310 dramatically points this out. Because these buildings were constructed in tandem and at the same time, they point out that the desire to differentiate was not restricted to property owners who face lifted their buildings.



# Iowa Site Inventory

Bureau of Historic Preservation  
Iowa State Department of Cultural Affairs  
Capitol Complex  
Des Moines, Iowa 50319

Site Number 081  
District Name \_\_\_\_\_  
Map Reference \_\_\_\_\_

## Identification

1. Site Name ROBERTSON BUILDING
2. Village/Town/City AMES Township WASHINGTON County STORY
3. Street Address 312-314 MAIN STREET
4. Legal Location \_\_\_\_\_  
Urban: subdivision block parcel subparcel  
Rural: township range section 1/4 section of 1/4 section
5. UTM Location: zone \_\_\_\_\_ easting \_\_\_\_\_ northing \_\_\_\_\_; Acreage \_\_\_\_\_
6. Owner(s) Name \_\_\_\_\_
7. Owner(s) Address \_\_\_\_\_  
(Street address) (City) (State) (Zip)
8. Use: Present COMMERCIAL Original COMMERCIAL

## Description

- Structure is a 2-story masonry building constructed in 1930*
9. Date of Construction: 1930S Architect/Builder \_\_\_\_\_
  10. Building Type  
 single-family dwelling  industrial  other institutional  religious  
 multiple-family dwelling  education  public  agricultural  
 commercial
  11. Exterior walls:  clapboard  stone  brick  board and batten  shingles  stucco  
 other \_\_\_\_\_
  12. Structural System:  wood frame with interlocking joints  wood frame with light members (balloon frame)  
 masonry load-bearing walls  iron frame  steel frame with curtain walls  reinforced concrete  
 other \_\_\_\_\_
  13. Condition:  excellent  good  fair  deteriorated
  14. Integrity:  original site  moved--if so, when? \_\_\_\_\_  
Notes on alterations, additions (with dates and architect, if known) and any other notable features of building and site:  
\_\_\_\_\_  
(see next page)
  15. Related Outbuildings and Property:  barn  other farm structures  carriage house  garage  privy  
 other \_\_\_\_\_
  16. Is the building endangered:  no  yes--if so, why? \_\_\_\_\_
  17. Surroundings of the building:  open land  woodland  scattered outbuildings  densely built-up  commercial  
 industrial  residential  other \_\_\_\_\_

## 18. Map



## 19. Photo looking S Photographer Wirth



# Significance

(Indicate sources of information for all statements)

## 20. Architectural Significance

- a. Ames Contributing (Key structure/individually may qualify for the National Register)
- b. Ames Compatible (Contributing structure)
- c. Ames Noncontributing (Not eligible/intrusion)

See continuation sheet.

## 21. Historical Significance

Theme(s) \_\_\_\_\_

- a. Ames Contributing (Key structure/individually may qualify for the National Register)
- b. Ames Compatible (Contributing structure)
- c. Ames Noncontributing (Not eligible/intrusion)

At least between 1911 and 1920, the second floor of a building on this site housed a lodge hall. In 1926 the commercial room at 314 housed George Robertson's shop (ADT, January 20, 1926, p 1). The room at 314 housed, for many years, Jones Luggage, a leather specialty shop. Engeldingers, a children's clothing store, was also housed in this area; they moved to the North Grand Mall where they remain in business today.

This building is historically significant because it calls attention to the upbuilding of the 300 block of Main Street during the second and third decades of the Twentieth Century.

## 22. Sources (for primary and secondary sources, give complete facts of publication: author, title, place of publication, date, etc

*Belonged to the first brick building on South side of 300 block*

Prepared by William C. Page, Public Historian Date Fall 1991  
 Address 104 Southwest Fourth Street Des Moines, IA 50309 Telephone 515/280-8026  
 Organization The Dunbar/Jones Partnership

## For Office of Historic Preservation Use Only

### 1. Office Information Sources on this Property

- County Resource File \_\_\_\_\_
- Windshield Survey \_\_\_\_\_
- National Register \_\_\_\_\_
- Grants-in-Aid: \_\_\_\_\_
- Determination of Eligibility \_\_\_\_\_

### Review and Compliance Project

- Other \_\_\_\_\_
- Other \_\_\_\_\_
- Other \_\_\_\_\_

### 2. Subject Traces

- a. \_\_\_\_\_
- b. \_\_\_\_\_
- c. \_\_\_\_\_
- d. \_\_\_\_\_
- e. \_\_\_\_\_

### 3. Photo Images \_\_\_\_\_

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 \_\_\_\_\_  
 \_\_\_\_\_

# Iowa Site Inventory

Bureau of Historic Preservation  
Iowa State Department of Cultural Affairs  
Capitol Complex  
Des Moines, Iowa 50319

Site Number 081

## CONTINUATION SHEET

### Significance

#### 20. Architectural Significance

This is a two-story, brick commercial block with a two-room wide facade. The evolution of this site is complex. Already prior to 1900, a two-room commercial building stood on this site. The configuration of this building remained constant through the 1920s. The present building was constructed, according to Ames City Council minutes, in the 1930s, and originally was known as the Robertson Building. Its cost is said to have been \$12,000.

A 1930s date for the design of the facade is commensurate with its physical appearance. The building features two brickworked bands below the parapet area and lintels for the second floor windows which extend across the entire face of the building as stringcourses. The area directly above the storefront also has a stringcourse across the facade. The second floor windows are replacements. The three-paned vertical configuration injects a discordant note to this area. The building most likely had, originally, a small paned window configuration on the second floor. The building at 125-127 Main, which this building greatly resembles, has retained its original second floor windows, and a similar design was probably also in place at 312-314.

Bobby Rogers Clothing Store was housed in this building. The present first floor was remodeled for this business in the 1970s, although already in the 1950s, Bobby Rogers had also remodeled the building for this same business. She also owned a woman's fashion store in Campustown, North Grand Mall, and in Marshalltown.

This building is significant architecturally because it calls attention to the commercial style of architecture and its influence over Ames central business district.



# Iowa Site Inventory

Bureau of Historic Preservation  
Iowa State Department of Cultural Affairs  
Capitol Complex  
Des Moines, Iowa 50319

Site Number 082  
District Name \_\_\_\_\_  
Map Reference \_\_\_\_\_

## Identification

1. Site Name COMMERCIAL BUILDING  
2. Village/Town/City AMES Township WASHINGTON County STORY  
3. Street Address 318-320 MAIN STREET  
4. Legal Location  
Urban: subdivision block parcel subparcel  
Rural: township range section 1/4 section of 1/4 section  
5. UTM Location: zone \_\_\_\_\_ easting \_\_\_\_\_ northing \_\_\_\_\_ ; Acreage \_\_\_\_\_  
6. Owner(s) Name \_\_\_\_\_  
7. Owner(s) Address \_\_\_\_\_  
(Street address) (City) (State) (Zip)  
8. Use: Present COMMERCIAL Original COMMERCIAL

## Description

9. Date of Construction: BET. 1911-1920\* Architect/Builder \_\_\_\_\_  
10. Building Type  
 single-family dwelling  industrial  other institutional  religious  
 multiple-family dwelling  education  public  agricultural  
 commercial  
11. Exterior walls:  clapboard  stone  brick  board and batten  shingles  stucco  
 other \_\_\_\_\_  
12. Structural System:  wood frame with interlocking joints  wood frame with light members (balloon frame)  
 masonry load-bearing walls  iron frame  steel frame with curtain walls  reinforced concrete  
 other \_\_\_\_\_  
13. Condition:  excellent  good  fair  deteriorated  
14. Integrity:  original site  moved--if so, when? \_\_\_\_\_  
Notes on alterations, additions (with dates and architect, if known) and any other notable features of building and site:  
\_\_\_\_\_(see next page)  
15. Related Outbuildings and Property:  barn  other farm structures  carriage house  garage  privy  
 other \_\_\_\_\_  
16. Is the building endangered:  no  yes--if so, why? \_\_\_\_\_  
17. Surroundings of the building:  open land  woodland  scattered outbuildings  densely built-up  commercial  
 industrial  residential  other \_\_\_\_\_

## 18. Map

19. Photo looking SW Photographer Wirth



**Significance**

(Indicate sources of information for all statements)

**20. Architectural Significance**

- a. Ames Contributing (Key structure/individually may qualify for the National Register)
- b. Ames Compatible (Contributing structure)
- c. Ames Noncontributing (Not eligible/intrusion)

This is a one-story, brick commercial building with a two-room wide facade. It is an intrusion in an historic commercial district because the storefront presents an entirely new appearance.

**21. Historical Significance**

Theme(s) \_\_\_\_\_

- a. Ames Contributing (Key structure/individually may qualify for the National Register)
- b. Ames Compatible (Contributing structure)
- c. Ames Noncontributing (Not eligible/intrusion)

Historical significance is not claimed for this building because of integrity problems.

This building housed Woolworth's in Ames. There was a soda fountain in the store. After Woolworth's moved to North Grand Mall in the 1960s, Nimm's Sportsmen's was housed in this building (they moved from Main Street Music store into this building).

**22. Sources** (for primary and secondary sources, give complete facts of publication: author, title, place of publication, date, etc

\* Sanborn fire insurance maps for 1911 and 1920.

Prepared by William C. Page, Public Historian Date Fall 1991  
 Address 104 Southwest Fourth Street Des Moines, IA 50309 Telephone 515/280-8026  
 Organization The Dunbar/Jones Partnership

**For Office of Historic Preservation Use Only**

**1. Office Information Sources on this Property**

- County Resource File \_\_\_\_\_
- Windshield Survey \_\_\_\_\_
- National Register \_\_\_\_\_
- Grants-in-Aid: \_\_\_\_\_
- Determination of Eligibility \_\_\_\_\_

Review and Compliance Project:

- Other \_\_\_\_\_
- Other \_\_\_\_\_
- Other \_\_\_\_\_

**2. Subject Traces**

- a. \_\_\_\_\_
- b. \_\_\_\_\_
- c. \_\_\_\_\_
- d. \_\_\_\_\_
- e. \_\_\_\_\_

**3. Photo Images** \_\_\_\_\_

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\_\_\_\_\_

# Iowa Site Inventory

Bureau of Historic Preservation  
Iowa State Department of Cultural Affairs  
Capitol Complex  
Des Moines, Iowa 50319

Site Number 083  
District Name \_\_\_\_\_  
Map Reference \_\_\_\_\_

## Identification

1. Site Name: MORRIS LIVERY STABLE  
2. Village/Town/City: AMES Township WASHINGTON County STORY  
3. Street Address: 326-330 MAIN STREET  
4. Legal Location: \_\_\_\_\_  
Urban: \_\_\_\_\_ subdivision \_\_\_\_\_ block \_\_\_\_\_ parcel \_\_\_\_\_ subparcel \_\_\_\_\_  
Rural: \_\_\_\_\_ township \_\_\_\_\_ range \_\_\_\_\_ section \_\_\_\_\_ 1/4 section of 1/4 section \_\_\_\_\_  
5. UTM Location: zone \_\_\_\_\_ easting \_\_\_\_\_ northing \_\_\_\_\_ ; Acreage \_\_\_\_\_  
6. Owner(s) Name \_\_\_\_\_  
7. Owner(s) Address \_\_\_\_\_  
(Street address) (City) (State) (Zip)  
8. Use: Present COMMERCIAL Original COMMERCIAL

## Description

9. Date of Construction: 1909 Architect/Builder \_\_\_\_\_  
10. Building Type  
 single-family dwelling  industrial  other institutional  religious  
 multiple-family dwelling  education  public  agricultural  
 commercial  
11. Exterior walls:  clapboard  stone  brick  board and batten  shingles  stucco  
 other \_\_\_\_\_  
12. Structural System:  wood frame with interlocking joints  wood frame with light members (balloon frame)  
 masonry load-bearing walls  iron frame  steel frame with curtain walls  reinforced concrete  
 other \_\_\_\_\_  
13. Condition:  excellent  good  fair  deteriorated  
14. Integrity:  original site  moved--if so, when? \_\_\_\_\_  
Notes on alterations, additions (with dates and architect, if known) and any other notable features of building and site:  
\_\_\_\_\_  
(see next page)  
15. Related Outbuildings and Property:  barn  other farm structures  carriage house  garage  privy  
 other \_\_\_\_\_  
16. Is the building endangered:  no  yes--if so, why? \_\_\_\_\_  
17. Surroundings of the building:  open land  woodland  scattered outbuildings  densely built-up  commercial  
 industrial  residential  other \_\_\_\_\_  
18. Map \_\_\_\_\_  
19. Photo looking SW Photographer \_\_\_\_\_ Page \_\_\_\_\_



## Significance

(Indicate sources of information for all statements)

### 20. Architectural Significance

- a. Ames Contributing (Key structure/individually may qualify for the National Register)  
 b. Ames Compatible (Contributing structure)  
 c. Ames Noncontributing (Not eligible/intrusion)

This building needs further study. It appears that the room at 326, which has hollow tile for load-bearing walls, was constructed as a garage, and separate from the building at 328-330. This larger building also has tile walls and a facade gable roof.

None of these buildings currently obtain architectural significance because of alterations to the facades. They would be classified as intrusions in an historic commercial district.

### 21. Historical Significance

Theme(s) \_\_\_\_\_

- a. Ames Contributing (Key structure/individually may qualify for the National Register)  
 b. Ames Compatible (Contributing structure)  
 c. Ames Noncontributing (Not eligible/intrusion)

Frank E. Morris (1868-19??) was born in Illinois and removed with his parents to Iowa, settling in Ames in 1875. Beginning in 1893 Morris engaged in the livery business, which prospered.

In the spring of 1909 Morris built this building, "the largest building in Ames." "It is three stories and basement, with gable roof, is fifty-one by one hundred feet and fifty-one feet in height. It is built of glazed brick and is used exclusively for the livery business. Its location is at the corner of Main and Burnett avenue, and Mr. Morris has about twenty-five head of horses, together with vehicles of all kinds, and three hearses and a number of closed carriages for funeral use. His livery barn is accorded a liberal patronage, and the business has grown along substantial and gratifying lines" (1911 History of Story County, Iowa; Volume 2; page 328). Although occupying the room at 231 Main in the 1920s, the J. C. Penney Store was located in this building for many years.

Historical significance is not claimed for this building because of the building's current facade, put up in the late 1980s.

### 22. Sources (for primary and secondary sources, give complete facts of publication: author, title, place of publication, date, etc)

Prepared by William C. Page, Public Historian Date Fall 1991  
Address 104 Southwest Fourth Street Des Moines, IA 50309 Telephone 515/280-8026  
Organization The Dunbar/Jones Partnership

## For Office of Historic Preservation Use Only

### 1. Office Information Sources on this Property

- County Resource File \_\_\_\_\_  
 Windshield Survey \_\_\_\_\_  
 National Register \_\_\_\_\_  
 Grants-in-Aid: \_\_\_\_\_  
 Determination of Eligibility \_\_\_\_\_

Review and Compliance Project:

- Other \_\_\_\_\_  
 Other \_\_\_\_\_  
 Other \_\_\_\_\_

### 2. Subject Traces

- a. \_\_\_\_\_  
b. \_\_\_\_\_  
c. \_\_\_\_\_  
d. \_\_\_\_\_  
e. \_\_\_\_\_

### 3. Photo Images \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

# Iowa Site Inventory

Bureau of Historic Preservation  
Iowa State Department of Cultural Affairs  
Capitol Complex  
Des Moines, Iowa 50319

Site Number 084  
District Name \_\_\_\_\_  
Map Reference \_\_\_\_\_

## Identification

1. Site Name F. J. OLSON & SON BUILDING  
2. Village/Town/City AMES Township WASHINGTON County STORY  
3. Street Address 400-402 MAIN STREET  
4. Legal Location  
Urban: \_\_\_\_\_ subdivision \_\_\_\_\_ block \_\_\_\_\_ parcel \_\_\_\_\_ subparcel \_\_\_\_\_  
Rural: \_\_\_\_\_ township \_\_\_\_\_ range \_\_\_\_\_ section \_\_\_\_\_ 1/4 section of 1/4 section \_\_\_\_\_  
5. UTM Location: zone \_\_\_\_\_ easting \_\_\_\_\_ northing \_\_\_\_\_ ; Acreage \_\_\_\_\_  
6. Owner(s) Name \_\_\_\_\_  
7. Owner(s) Address \_\_\_\_\_  
(Street address) (City) (State) (Zip)  
8. Use: Present COMMERCIAL Original COMMERCIAL

## Description

9. Date of Construction: 1911\* Architect/Builder \_\_\_\_\_  
10. Building Type  
 single-family dwelling  industrial  other institutional  religious  
 multiple-family dwelling  education  public  agricultural  
 commercial  
11. Exterior walls:  clapboard  stone  brick  board and batten  shingles  stucco  
 other POURED CONCRETE  
12. Structural System:  wood frame with interlocking joints  wood frame with light members (balloon frame)  
 masonry load-bearing walls  iron frame  steel frame with curtain walls  reinforced concrete  
 other \_\_\_\_\_  
13. Condition:  excellent  good  fair  deteriorated  
14. Integrity:  original site  moved--if so, when? \_\_\_\_\_  
Notes on alterations, additions (with dates and architect, if known) and any other notable features of building and site:  
\_\_\_\_\_  
(see next page)  
15. Related Outbuildings and Property:  barn  other farm structures  carriage house  garage  privy  
 other \_\_\_\_\_  
16. Is the building endangered:  no  yes--if so, why? \_\_\_\_\_  
17. Surroundings of the building:  open land  woodland  scattered outbuildings  densely built-up  commercial  
 industrial  residential  other \_\_\_\_\_

18. Map

19. Photo looking S Photographer Wirth





# Significance

(Indicate sources of information for all statements)

## 20. Architectural Significance

- a. Ames Contributing (Key structure/individually may qualify for the National Register)
- b. Ames Compatible (Contributing structure)
- c. Ames Noncontributing (Not eligible/intrusion)

See continuation sheet.

## 21. Historical Significance

Theme(s) \_\_\_\_\_

- a. Ames Contributing (Key structure/individually may qualify for the National Register)
- b. Ames Compatible (Contributing structure)
- c. Ames Noncontributing (Not eligible/intrusion)

Olsens featured cut flowers and seeds, pot and bedding plants, nursery stock, and all kinds of vegetable plantings. The firm maintained two stores in Ames, the original one in the Fourth Ward near West Gate and at this new building on Main Street. (The Olson name is variously spelled, often Olsan, sometimes Olsen). The new building was designed to house their floral operations on the first floor and a dance hall on the second floor. This latter function helps explain the need for the heavy duty structural design of the building. Somewhat later the Collegiate Manufacturing Company based its pennant factory in the second floor of this building prior to their relocation into 5th Street.

A story in the *Ames Daily Tribune* of November 17, 1921, said this about the firm:

"In 1891 the firm of F. J. Olsan & Sons was established. At first they had but a small greenhouse, but business grew rapidly and their plant was enlarged until at the present time they have 15,000 square feet under glass. The downtown store of F. J. Olsan & Sons was built in 1911. Here they have a very attractive display room, where they carry a large stock of bulbs, seeds, and flowers, cut and potted, and are prepared to make special designs as well as furnish cut flowers and plants for funerals and all sorts of occasions... The firm consists of F. J. Olsan and four sons, William, Charles, Milos, and George... F. J. Olsan & Sons grow practically all their own flowers and plants... They specialize in chrysanthemums and carnations, shipping a large part of their product to Des Moines. In Their new building on Main street, they provide space in the rear for the American Railway Express company. The west half of the lower floor is operated by the New London cafe, while above is a large dance hall, well patronized by students and others during the festive season." Feature includes photograph of building looking southwest.

## 22. Sources (for primary and secondary sources, give complete facts of publication: author, title, place of publication, date, etc

\* Sanborn fire insurance map 1911 "(From Plans)".

Prepared by William C. Page, Public Historian Date Fall 1991  
 Address 104 Southwest Fourth Street Des Moines, IA 50309 Telephone 515/280-8026  
 Organization The Dunbar/Jones Partnership

## For Office of Historic Preservation Use Only

### 1. Office Information Sources on this Property

- County Resource File \_\_\_\_\_
- Windshield Survey \_\_\_\_\_
- National Register \_\_\_\_\_
- Grants-in-Aid: \_\_\_\_\_
- Determination of Eligibility \_\_\_\_\_

### Review and Compliance Project:

- Other \_\_\_\_\_
- Other \_\_\_\_\_
- Other \_\_\_\_\_

### 2. Subject Traces

- a. \_\_\_\_\_
- b. \_\_\_\_\_
- c. \_\_\_\_\_
- d. \_\_\_\_\_
- e. \_\_\_\_\_

### 3. Photo Images \_\_\_\_\_

- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_

# Iowa Site Inventory

Bureau of Historic Preservation  
Iowa State Department of Cultural Affairs  
Capitol Complex  
Des Moines, Iowa 50319

Site Number 084

## CONTINUATION SHEET

### Significance

#### 20. Architectural Significance

This is a two-story, poured concrete commercial block with a two-room wide facade. The building is notable as an early example in Ames of an advanced building technology: poured and reinforced concrete as a structurally engineered design. Although an architect's name has not, to date, been identified for the building, the modern technology strongly suggests a professional.

According to research provided by Farwell T. Brown, W. A. Jennings (1898-1980), founder of the Economy Forms Corporation of Des Moines, worked for F. J. Olson while a student at Iowa State. This connection is highly interesting because Economy Forms is today a national producer of reusable concrete forms. Did Jennings become interested in poured concrete while working for Olsons? Brown has discussed this idea with Jennings' granddaughter. Although unconfirmed, the connection is not improbable. According to Brown's research, a similar building was erected in Pocahontas, Iowa, but this building has since been razed.

The integrity of this building remains high. Although the three bays on the storefront have been altered, they respect the original cavities. Windows on the second floor on the east elevation are 1/1 double hung sash and appear to be original to the building.

This building would be contributing/key to an historic commercial district because it calls attention to an important new engineering technology of the first quarter of the Twentieth Century. This building appears to be the first building in the central business district which employs concrete products. As such, it might have established a precedent for the use of stucco on commercial buildings, such as the facelifts at 131, 201, and 233 Main Street.



# Iowa Site Inventory

Bureau of Historic Preservation  
Iowa State Department of Cultural Affairs  
Capitol Complex  
Des Moines, Iowa 50319

Site Number 085  
District Name \_\_\_\_\_  
Map Reference \_\_\_\_\_

## Identification

1. Site Name COMMERCIAL BUILDING
2. Village/Town/City AMES Township WASHINGTON County STORY
3. Street Address 404-410 MAIN STREET
4. Legal Location  
Urban: \_\_\_\_\_ subdivision \_\_\_\_\_ block \_\_\_\_\_ parcel \_\_\_\_\_ subparcel \_\_\_\_\_  
Rural: \_\_\_\_\_ township \_\_\_\_\_ range \_\_\_\_\_ section \_\_\_\_\_ 1/4 section of 1/4 section \_\_\_\_\_
5. UTM Location: zone \_\_\_\_\_ easting \_\_\_\_\_ northing \_\_\_\_\_ ; Acreage \_\_\_\_\_
6. Owner(s) Name \_\_\_\_\_
7. Owner(s) Address \_\_\_\_\_  
(Street address) (City) (State) (Zip)
8. Use: Present COMMERCIAL Original COMMERCIAL

## Description

9. Date of Construction: BET. 1920-1926 Architect/Builder \_\_\_\_\_
10. Building Type  
 single-family dwelling  industrial  other institutional  religious  
 multiple-family dwelling  education  public  agricultural  
 commercial
11. Exterior walls:  clapboard  stone  brick  board and batten  shingles  stucco  
 other \_\_\_\_\_
12. Structural System:  wood frame with interlocking joints  wood frame with light members (balloon frame)  
 masonry load-bearing walls  iron frame  steel frame with curtain walls  reinforced concrete  
 other \_\_\_\_\_
13. Condition:  excellent  good  fair  deteriorated
14. Integrity:  original site  moved--if so, when? \_\_\_\_\_  
Notes on alterations, additions (with dates and architect, if known) and any other notable features of building and site:  
\_\_\_\_\_ (see next page)
15. Related Outbuildings and Property:  barn  other farm structures  carriage house  garage  privy  
 other \_\_\_\_\_
16. Is the building endangered:  no  yes--if so, why? \_\_\_\_\_
17. Surroundings of the building:  open land  woodland  scattered outbuildings  densely built-up  commercial  
 industrial  residential  other \_\_\_\_\_
18. Map \_\_\_\_\_
19. Photo looking S Photographer Wirth



# Significance

(Indicate sources of information for all statements)

## 20. Architectural Significance

- a. Ames Contributing (Key structure/individually may qualify for the National Register)
- b. Ames Compatible (Contributing structure)
- c. Ames Noncontributing (Not eligible/intrusion)

This is a two-story, brick commercial block with an exceptionally wide facade. The building is significant as an example of a design influenced by the commercial style. Notable features in this regard are the use of multi-colored brick and cast concrete for window sills, and the brick pilasters on each side and flanking the two center bays. The building also features a modified cornice with corbels. Although the storefront area of this building has been rebuilt, it might be contributing to an historic commercial district particularly if the original fabric of the second floor windows remains intact.

This building appears, from fire insurance maps, to have been constructed between 1920 and 1926 as a garage. The building is significant as a good example of the commercial style of architecture's influence in Ames. It obtains additional architectural significance because it shows a careful regard to traditional facade widths in Ames although it is exceptionally wide.

## 21. Historical Significance

Theme(s) \_\_\_\_\_

- a. Ames Contributing (Key structure/individually may qualify for the National Register)
- b. Ames Compatible (Contributing structure)
- c. Ames Noncontributing (Not eligible/intrusion)

In 1917, P. A. Mathre operated his automobile dealership from the room at 406 Main. Mathre featured Overland and Willy-Knight Cars. The operation also included a repair department. This building illustrates, therefore, the development of this portion of Main Street as an areas which provided commercial services related to automobiles and other commercial operations with heavy products like feed and grain.

The construction of this building further reiterates the boom along this portion of Main Street during the 1920s.

## 22. Sources (for primary and secondary sources, give complete facts of publication: author, title, place of publication, date, etc)

Sanborn fire insurance maps 1911, 1920, and 1926.

Prepared by William C. Page, Public Historian Date Fall 1991  
 Address 104 Southwest Fourth Street Des Moines, IA 50309 Telephone 515/280-8026  
 Organization The Dunbar/Jones Partnership

## For Office of Historic Preservation Use Only

### 1. Office Information Sources on this Property

- County Resource File \_\_\_\_\_
- Windshield Survey \_\_\_\_\_
- National Register \_\_\_\_\_
- Grants-in-Aid: \_\_\_\_\_
- Determination of Eligibility \_\_\_\_\_

### Review and Compliance Project:

- Other \_\_\_\_\_
- Other \_\_\_\_\_
- Other \_\_\_\_\_

### 2. Subject Traces

- a. \_\_\_\_\_
- b. \_\_\_\_\_
- c. \_\_\_\_\_
- d. \_\_\_\_\_
- e. \_\_\_\_\_

### 3. Photo Images \_\_\_\_\_

- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_

# Iowa Site Inventory

Bureau of Historic Preservation  
Iowa State Department of Cultural Affairs  
Capitol Complex  
Des Moines, Iowa 50319

Site Number 086

District Name \_\_\_\_\_

Map Reference \_\_\_\_\_

## Identification

1. Site Name J. L. DAHL TIRE STORE
2. Village/Town/City AMES Township WASHINGTON County STORY
3. Street Address 412 MAIN STREET
4. Legal Location  
Urban: \_\_\_\_\_ subdivision \_\_\_\_\_ block \_\_\_\_\_ parcel \_\_\_\_\_ subparcel \_\_\_\_\_  
Rural: \_\_\_\_\_ township \_\_\_\_\_ range \_\_\_\_\_ section \_\_\_\_\_ 1/4 section of 1/4 section \_\_\_\_\_
5. UTM Location: zone \_\_\_\_\_ easting \_\_\_\_\_ northing \_\_\_\_\_ ; Acreage \_\_\_\_\_
6. Owner(s) Name \_\_\_\_\_
7. Owner(s) Address \_\_\_\_\_  
(Street address) (City) (State) (Zip)
8. Use: Present COMMERCIAL Original COMMERCIAL

## Description

9. Date of Construction: 1925\* Architect/Builder \_\_\_\_\_
10. Building Type  
 single-family dwelling  industrial  other institutional  religious  
 multiple-family dwelling  education  public  agricultural  
 commercial
11. Exterior walls:  clapboard  stone  brick  board and batten  shingles  stucco  
 other \_\_\_\_\_
12. Structural System:  wood frame with interlocking joints  wood frame with light members (balloon frame)  
 masonry load-bearing walls  iron frame  steel frame with curtain walls  reinforced concrete  
 other \_\_\_\_\_
13. Condition:  excellent  good  fair  deteriorated
14. Integrity:  original site  moved--if so, when? \_\_\_\_\_  
Notes on alterations, additions (with dates and architect, if known) and any other notable features of building and site:  
\_\_\_\_\_  
(see next page)
15. Related Outbuildings and Property:  barn  other farm structures  carriage house  garage  privy  
 other \_\_\_\_\_
16. Is the building endangered:  no  yes--if so, why? \_\_\_\_\_
17. Surroundings of the building:  open land  woodland  scattered outbuildings  densely built-up  commercial  
 industrial  residential  other \_\_\_\_\_
18. Map \_\_\_\_\_
19. Photo looking S Photographer Wirth



# Significance

(Indicate sources of information for all statements)

## 20. Architectural Significance

- a. Ames Contributing (Key structure/individually may qualify for the National Register)
- b. Ames Compatible (Contributing structure)
- c. Ames Noncontributing (Not eligible/intrusion)

This is a two-story, brick commercial block with a two-room wide facade. The building is a fine example of a store influenced by the commercial style of architecture. Features of this influence include the second floor window sills and lintels which are fabricated of a brick darker than the facade and which extend, as stringcourses, the entire width of the facade. The lintel over the storefront cavities is also worked in darker colored brick and extends the width of the facade. Surface textures of the building are further enriched by the dark colored brick forming plaques above the second floor stringcourse, dark colored brick framing the second floor windows, and a simple cornice. This building could be contributing to an historic commercial district.

This building appears, from fire insurance maps, to have been constructed between 1920 and 1926. More research is necessary to distinguish the evolution of this building and those which it abutts. Although all built at approximately the same time, their storefront widths break with the standard in Ames. Their street numbers on the fire insurance maps are also unclear because they differ from current street numbers.

## 21. Historical Significance

Theme(s) \_\_\_\_\_

- a. Ames Contributing (Key structure/individually may qualify for the National Register)
- b. Ames Compatible (Contributing structure)
- c. Ames Noncontributing (Not eligible/intrusion)

See continuation sheet.

## 22. Sources (for primary and secondary sources, give complete facts of publication: author, title, place of publication, date, etc

\* Sanborn fire insurance maps 1911, 1920, and 1926.

Prepared by William C. Page, Public Historian Date Fall 1991  
 Address 104 Southwest Fourth Street Des Moines, IA 50309 Telephone 515/280-8026  
 Organization The Dunbar/Jones Partnership

## For Office of Historic Preservation Use Only

### 1. Office Information Sources on this Property

- County Resource File \_\_\_\_\_
- Windshield Survey \_\_\_\_\_
- National Register \_\_\_\_\_
- Grants-in-Aid: \_\_\_\_\_
- Determination of Eligibility \_\_\_\_\_

Review and Compliance Project:

- Other \_\_\_\_\_
- Other \_\_\_\_\_
- Other \_\_\_\_\_

### 2. Subject Traces

- a. \_\_\_\_\_
- b. \_\_\_\_\_
- c. \_\_\_\_\_
- d. \_\_\_\_\_
- e. \_\_\_\_\_

### 3. Photo Images \_\_\_\_\_

- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_

# Iowa Site Inventory

Bureau of Historic Preservation  
Iowa State Department of Cultural Affairs  
Capitol Complex  
Des Moines, Iowa 50319

Site Number 086

## CONTINUATION SHEET

### Significance

21. Historical Significance

Theme(s) \_\_\_\_\_

Constructed in 1925 for J. L. Dahl, this building provided housing for his tire service business. The Ames Daily Tribune reported on June 2, 1925, that ""Two New Business Buildings for City; J. H. Dahl and C. J. Lynch to Start Construction Soon; Ames is in line for two new business buildings to be started within the immediate future. J. L. Dahl tire man, plans on erecting a two-story brick building on the site of his present tire store at 412 Main street. Plans are being drawn up for the building and it is expected that excavation will begin this week. The contract will be let out for bids as soon as the plans are completed, probably this week." [This article is a good example of the reticence the *Ames Daily Tribune* historically has to printing the names of architects associated with construction projects.]

This building points out the upbuilding of this portion of Main Street in the 1920s and calls attention to the economic boom during this period, which made the development possible.

# Iowa Site Inventory

Bureau of Historic Preservation  
Iowa State Department of Cultural Affairs  
Capitol Complex  
Des Moines, Iowa 50319

Site Number 087  
District Name \_\_\_\_\_  
Map Reference \_\_\_\_\_

## Identification

1. Site Name COMMERCIAL BUILDING
2. Village/Town/City AMES Township WASHINGTON County STORY
3. Street Address 414-416 MAIN STREET
4. Legal Location  
Urban: \_\_\_\_\_ subdivision \_\_\_\_\_ block \_\_\_\_\_ parcel \_\_\_\_\_ subparcel \_\_\_\_\_  
Rural: \_\_\_\_\_ township \_\_\_\_\_ range \_\_\_\_\_ section \_\_\_\_\_ 1/4 section of 1/4 section \_\_\_\_\_
5. UTM Location: zone \_\_\_\_\_ casting \_\_\_\_\_ northing \_\_\_\_\_ ; Acreage \_\_\_\_\_
6. Owner(s) Name \_\_\_\_\_
7. Owner(s) Address \_\_\_\_\_  
(Street address) (City) (State) (Zip)
8. Use: Present COMMERCIAL Original COMMERCIAL

## Description

9. Date of Construction: AFTER 1926\* Architect/Builder \_\_\_\_\_
10. Building Type  
 single-family dwelling  industrial  other institutional  religious  
 multiple-family dwelling  education  public  agricultural  
 commercial
11. Exterior walls:  clapboard  stone  brick  board and batten  shingles  stucco  
 other \_\_\_\_\_
12. Structural System:  wood frame with interlocking joints  wood frame with light members (balloon frame)  
 masonry load-bearing walls  iron frame  steel frame with curtain walls  reinforced concrete  
 other \_\_\_\_\_
13. Condition:  excellent  good  fair  deteriorated
14. Integrity:  original site  moved--if so, when? \_\_\_\_\_  
Notes on alterations, additions (with dates and architect, if known) and any other notable features of building and site:  
\_\_\_\_\_  
(see next page)
15. Related Outbuildings and Property:  barn  other farm structures  carriage house  garage  privy  
 other \_\_\_\_\_
16. Is the building endangered:  no  yes--if so, why? \_\_\_\_\_
17. Surroundings of the building:  open land  woodland  scattered outbuildings  densely built-up  commercial  
 industrial  residential  other \_\_\_\_\_
18. Map \_\_\_\_\_
19. Photo looking S Photographer Wirth





**Significance**

(Indicate sources of information for all statements)

**20. Architectural Significance**

- a. Ames Contributing (Key structure/individually may qualify for the National Register)
- b. Ames Compatible (Contributing structure)
- c. Ames Noncontributing (Not eligible/intrusion)

See continuation sheet.

**21. Historical Significance**

Theme(s) \_\_\_\_\_

- a. Ames Contributing (Key structure/individually may qualify for the National Register)
- b. Ames Compatible (Contributing structure)
- c. Ames Noncontributing (Not eligible/intrusion)

The construction of this building further reiterates the boom along this portion of Main Street during the 1920s.

**22. Sources** (for primary and secondary sources, give complete facts of publication: author, title, place of publication, date, etc)

\* Sanborn fire insurance maps 1920 and 1926.

Prepared by William C. Page, Public Historian Date Fall 1991  
 Address 104 Southwest Fourth Street Des Moines, IA 50309 Telephone 515/280-8026  
 Organization The Dunbar/Jones Partnership

**For Office of Historic Preservation Use Only**

**1. Office Information Sources on this Property**

- County Resource File \_\_\_\_\_
- Windshield Survey \_\_\_\_\_
- National Register \_\_\_\_\_
- Grants-in-Aid: \_\_\_\_\_
- Determination of Eligibility \_\_\_\_\_

Review and Compliance Project:

- Other \_\_\_\_\_
- Other \_\_\_\_\_
- Other \_\_\_\_\_

**2. Subject Traces**

- a. \_\_\_\_\_
- b. \_\_\_\_\_
- c. \_\_\_\_\_
- d. \_\_\_\_\_
- e. \_\_\_\_\_

**3. Photo Images** \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

# Iowa Site Inventory

Bureau of Historic Preservation  
Iowa State Department of Cultural Affairs  
Capitol Complex  
Des Moines, Iowa 50319

Site Number 087

## CONTINUATION SHEET

### Significance

#### 20. Architectural Significance

This is a two-story, brick commercial block with a two-room wide facade. The building is a good example of a store influenced by the commercial style of architecture. Features of this influence include brick lintels over the storefront which extends, as a stringcourse, the entire width of the facade. Surface textures of the building are further enriched by the variety of colors of brick and by brickwork design of lozenges in the plaque area of the building. This design is accomplished through laying bricks which protrude slightly from the face of the facade. The second story windows, which originally were probably 1/1 double hung sash, have been replaced with a modern single pane configuration, and this design distracts from the rich texture which the building otherwise conveys. There appears to be considerable alteration of the first floor's configuration. This building might be compatible/contributing to an historic commercial district, particularly if the configuration of second floor windows was returned to its original design.

This building appears, from fire insurance maps, to have been constructed after 1926. More research is necessary to distinguish the evolution of this building and those which it abutts. Although all were built at approximately the same time, their storefront widths break with the standard in Ames. Their street numbers on the fire insurance maps are also unclear because they differ from current street numbers.

# Iowa Site Inventory

Bureau of Historic Preservation  
Iowa State Department of Cultural Affairs  
Capitol Complex  
Des Moines, Iowa 50319

Site Number 088  
District Name \_\_\_\_\_  
Map Reference \_\_\_\_\_

## Identification

1. Site Name COMMERCIAL BUILDING  
2. Village/Town/City AMES Township WASHINGTON County STORY  
3. Street Address 420 MAIN STREET  
4. Legal Location \_\_\_\_\_  
Urban: \_\_\_\_\_ subdivision \_\_\_\_\_ block \_\_\_\_\_ parcel \_\_\_\_\_ subparcel \_\_\_\_\_  
Rural: \_\_\_\_\_ township \_\_\_\_\_ range \_\_\_\_\_ section \_\_\_\_\_ 1/4 section of 1/4 section \_\_\_\_\_  
5. UTM Location: zone \_\_\_\_\_ easting \_\_\_\_\_ northing \_\_\_\_\_ ; Acreage \_\_\_\_\_  
6. Owner(s) Name \_\_\_\_\_  
7. Owner(s) Address \_\_\_\_\_  
(Street address) (City) (State) (Zip)  
8. Use: Present COMMERCIAL Original COMMERCIAL

## Description

9. Date of Construction: BET. 1911-1920\* Architect/Builder \_\_\_\_\_  
10. Building Type  
 single-family dwelling  industrial  other institutional  religious  
 multiple-family dwelling  education  public  agricultural  
 commercial  
11. Exterior walls:  clapboard  stone  brick  board and batten  shingles  stucco  
 other \_\_\_\_\_  
12. Structural System:  wood frame with interlocking joints  wood frame with light members (balloon frame)  
 masonry load-bearing walls  iron frame  steel frame with curtain walls  reinforced concrete  
 other \_\_\_\_\_  
13. Condition:  excellent  good  fair  deteriorated  
14. Integrity:  original site  moved--if so, when? \_\_\_\_\_  
Notes on alterations, additions (with dates and architect, if known) and any other notable features of building and site:  
\_\_\_\_\_  
(see next page)  
15. Related Outbuildings and Property:  barn  other farm structures  carriage house  garage  privy  
 other \_\_\_\_\_  
16. Is the building endangered:  no  yes--if so, why? \_\_\_\_\_  
17. Surroundings of the building:  open land  woodland  scattered outbuildings  densely built-up  commercial  
 industrial  residential  other \_\_\_\_\_

18. Map

19. Photo looking S Photographer Wirth



# Significance

(Indicate sources of information for all statements)

## 20. Architectural Significance

- a. Ames Contributing (Key structure/individually may qualify for the National Register)
- b. Ames Compatible (Contributing structure)
- c. Ames Noncontributing (Not eligible/intrusion)

See continuation sheet.

## 21. Historical Significance

Theme(s) \_\_\_\_\_

- a. Ames Contributing (Key structure/individually may qualify for the National Register)
- b. Ames Compatible (Contributing structure)
- c. Ames Noncontributing (Not eligible/intrusion)

This building calls attention to the expansion of West Main Street as a commercial area in the first decades of the Twentieth Century. In 1920 the building housed a flour and feed store on the first floor. The building specifically shows the evolution of this portion of Main Street as a center for automobile-related services, like garages and filling stations, and other heavy commercial enterprises, like feed and grain stores. This could be a contributing building calling attention to this evolution.

## 22. Sources (for primary and secondary sources, give complete facts of publication: author, title, place of publication, date, etc)

Sanborn fire insurance maps for 1911, 1920, and 1926.

Prepared by William C. Page, Public Historian Date Fall 1991  
 Address 104 Southwest Fourth Street Des Moines, IA 50309 Telephone 515/280-8026  
 Organization The Dunbar/Jones Partnership

## For Office of Historic Preservation Use Only

### 1. Office Information Sources on this Property

- County Resource File \_\_\_\_\_
- Windshield Survey \_\_\_\_\_
- National Register \_\_\_\_\_
- Grants-in-Aid: \_\_\_\_\_
- Determination of Eligibility \_\_\_\_\_

Review and Compliance Project: \_\_\_\_\_

- Other \_\_\_\_\_
- Other \_\_\_\_\_
- Other \_\_\_\_\_

### 2. Subject Traces

- a. \_\_\_\_\_
- b. \_\_\_\_\_
- c. \_\_\_\_\_
- d. \_\_\_\_\_
- e. \_\_\_\_\_

### 3. Photo Images \_\_\_\_\_

- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_

# Iowa Site Inventory

Bureau of Historic Preservation  
Iowa State Department of Cultural Affairs  
Capitol Complex  
Des Moines, Iowa 50319

Site Number 088

## CONTINUATION SHEET

### Significance

#### 20. Architectural Significance

This is a two-story, hollow tile commercial block faced with brick veneer on the facade with a non-conforming room width. It was constructed between 1911 and 1920. Although the facade conforms to the standard Ames 50 foot width for two commercial rooms, a large vehicular entrance at the center of the facade differentiates this building from other commercial buildings in the central business district. This building appears to have served as a wholesale house according to a 1926 Sanborn map.

Notable architectural features on this building include the stringcourse in light colored brick, which acts as an extension of the second floor window lintels, and three plaques worked in the same light brick above the stringcourse. This light brick contrasts with the darker colored brick of the facade. Second floor windows are double hung sash 1/1. These windows may be original. The first floor features a centrally placed vehicular doorway. This panel door appears to be original to the building. Although the two storefront windows have been blocked down somewhat, they retain the size of the original cavity. The integrity of this building is high.

This building is significant because it shows influences of the commercial style of architecture applied to a warehouse type building and because the integrity of this design is high.

# Iowa Site Inventory

Bureau of Historic Preservation  
Iowa State Department of Cultural Affairs  
Capitol Complex  
Des Moines, Iowa 50319

Site Number 090  
District Name \_\_\_\_\_  
Map Reference \_\_\_\_\_

## Identification

1. Site Name COMMERCIAL BUILDING
2. Village/Town/City AMES Township WASHINGTON County STORY
3. Street Address 109, 111, 113, 115 5TH STREET
4. Legal Location \_\_\_\_\_  
Urban: \_\_\_\_\_ subdivision \_\_\_\_\_ block \_\_\_\_\_ parcel \_\_\_\_\_ subparcel \_\_\_\_\_  
Rural: \_\_\_\_\_ township \_\_\_\_\_ range \_\_\_\_\_ section \_\_\_\_\_ 1/4 section of 1/4 section \_\_\_\_\_
5. UTM Location: zone \_\_\_\_\_ easting \_\_\_\_\_ northing \_\_\_\_\_ ; Acreage \_\_\_\_\_
6. Owner(s) Name \_\_\_\_\_
7. Owner(s) Address \_\_\_\_\_  
(Street address) (City) (State) (Zip)
8. Use: Present COMMERCIAL Original COMMERCIAL

## Description

9. Date of Construction: 1926\* Architect/Builder \_\_\_\_\_
10. Building Type  
 single-family dwelling  industrial  other institutional  religious  
 multiple-family dwelling  education  public  agricultural  
 commercial
11. Exterior walls:  clapboard  stone  brick  board and batten  shingles  stucco  
 other \_\_\_\_\_
12. Structural System:  wood frame with interlocking joints  wood frame with light members (balloon frame)  
 masonry load-bearing walls  iron frame  steel frame with curtain walls  reinforced concrete  
 other \_\_\_\_\_
13. Condition:  excellent  good  fair  deteriorated
14. Integrity:  original site  moved--if so, when? \_\_\_\_\_  
Notes on alterations, additions (with dates and architect, if known) and any other notable features of building and site:  
\_\_\_\_\_ (see next page)
15. Related Outbuildings and Property:  barn  other farm structures  carriage house  garage  privy  
 other \_\_\_\_\_
16. Is the building endangered:  no  yes--if so, why? \_\_\_\_\_
17. Surroundings of the building:  open land  woodland  scattered outbuildings  densely built-up  commercial  
 industrial  residential  other \_\_\_\_\_
18. Map \_\_\_\_\_
19. Photo looking N Photographer Wirth



# Significance

(Indicate sources of information for all statements)

## 20. Architectural Significance

- a. Ames Contributing (Key structure/individually may qualify for the National Register)
- b. Ames Compatible (Contributing structure)
- c. Ames Noncontributing (Not eligible/intrusion)

The following four commercial rooms, 109, 111, 113, and 115 5th Street, appear to have served different businesses over the years and should probably be counted as separate resources in an historic commercial district. These buildings, however, share a unified architectural design. They are all constructed of hollow tile faced with brick veneer. They were all constructed in 1926 or shortly thereafter, probably for the same owner and by the same contractor. These buildings are shown, marked "From Plans," on the 1926 Sanborn map.

This is a two-story, brick commercial building with a four-room wide facade. The building features paired windows on the second floor with 6/1 double hung sash type windows and panels worked in brick above these windows and below the parapet. The windows are original to the building and add a distinctive note to it. Although the first floor of this building has been covered with various forms of wood siding, some of the building's original fabric may remain beneath them. This building is architecturally significant because it calls attention to the influence of the commercial style of architecture over the Ames central business district in the first three decades of the Twentieth Century.

## 21. Historical Significance

Theme(s) \_\_\_\_\_

- a. Key structure/individually may qualify for the National Register (Ames Contributing)
- b. Contributing structure (Ames Compatible)
- c. Not eligible/intrusion (Ames Non-Contributing)

Prior to construction of this commercial block, the north side of 5th Street (then termed Story) was residential. Construction of this building calls attention, therefore, to the booming Ames economy during the 1920s and the extension of the central business district into this portion of the community.

## 22. Sources (for primary and secondary sources, give complete facts of publication: author, title, place of publication, date, etc

\*Sanborn fire insurance maps for 1920 and 1926.

Prepared by William C. Page, Public Historian Date Fall 1991  
 Address 104 Southwest Fourth Street Des Moines, IA 50309 Telephone 515/280-8026  
 Organization The Dunbar/Jones Partnership

## For Office of Historic Preservation Use Only

### 1. Office Information Sources on this Property

- County Resource File \_\_\_\_\_
- Windshield Survey \_\_\_\_\_
- National Register \_\_\_\_\_
- Grants-in-Aid: \_\_\_\_\_
- Determination of Eligibility \_\_\_\_\_

### Review and Compliance Project:

- Other \_\_\_\_\_
- Other \_\_\_\_\_
- Other \_\_\_\_\_

### 2. Subject Traces

- a. \_\_\_\_\_
- b. \_\_\_\_\_
- c. \_\_\_\_\_
- d. \_\_\_\_\_
- e. \_\_\_\_\_

### 3. Photo Images \_\_\_\_\_

- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_

# Iowa Site Inventory

Bureau of Historic Preservation  
 Iowa State Department of Cultural Affairs  
 Capitol Complex  
 Des Moines, Iowa 50319

Site Number 091  
 District Name \_\_\_\_\_  
 Map Reference \_\_\_\_\_

## Identification

1. Site Name MORGAN BUILDING
2. Village/Town/City AMES Township WASHINGTON County STORY
3. Street Address 215 5TH STREET
4. Legal Location  

	Urban: Rural:	subdivision township	block range	parcel section	subparcel 1/4 section of 1/4 section
--	------------------	-------------------------	----------------	-------------------	---
5. UTM Location: zone \_\_\_\_\_ easting \_\_\_\_\_ northing \_\_\_\_\_ ; Acreage \_\_\_\_\_
6. Owner(s) Name \_\_\_\_\_
7. Owner(s) Address \_\_\_\_\_  

(Street address)	(City)	(State)	(Zip)
------------------	--------	---------	-------
8. Use: Present COMMERCIAL Original COMMERCIAL

## Description

9. Date of Construction: 1928\* Architect/Builder \_\_\_\_\_
10. Building Type  
 single-family dwelling     industrial     other institutional     religious  
 multiple-family dwelling     education     public     agricultural  
 commercial
11. Exterior walls:     clapboard     stone     brick     board and batten     shingles     stucco  
 other \_\_\_\_\_
12. Structural System:     wood frame with interlocking joints     wood frame with light members (balloon frame)  
 masonry load-bearing walls     iron frame     steel frame with curtain walls     reinforced concrete  
 other \_\_\_\_\_
13. Condition:     excellent     good     fair     deteriorated
14. Integrity:  original site     moved--if so, when? \_\_\_\_\_  
 Notes on alterations, additions (with dates and architect, if known) and any other notable features of building and site:  
 \_\_\_\_\_ (see next page)
15. Related Outbuildings and Property:     barn     other farm structures     carriage house     garage     privy  
 other \_\_\_\_\_
16. Is the building endangered:     no     yes--if so, why? \_\_\_\_\_
17. Surroundings of the building:     open land     woodland     scattered outbuildings     densely built-up     commercial  
 industrial     residential     other \_\_\_\_\_

18. Map	19. Photo looking <u>NE</u> Photographer _____ Page _____				
	<table border="0" style="margin: auto;"> <tr> <td style="text-align: center;">217</td> <td style="text-align: center;">215</td> </tr> <tr> <td style="text-align: center;">↓</td> <td style="text-align: center;">↓</td> </tr> </table>	217	215	↓	↓
217	215				
↓	↓				





# Significance

(Indicate sources of information for all statements)

## 20. Architectural Significance

- a. Ames Contributing (Key structure/individually may qualify for the National Register)
- b. Ames Compatible (Contributing structure)
- c. Ames Noncontributing (Not eligible/intrusion)

This is a one-story, brick commercial building with a one-room wide facade. Apparently constructed in 1928 for Clarence J. Morgan, this building features two panels worked in brick above the first floor storefront and below the parapet. There are also two brick courses above the panels which run horizontal across the facade. The parapet is capped with a tile coping. Although the storefront has been altered, original fabric of the building may remain behind the vertical wood siding which now covers the transom area. This building is significant because it calls attention to the influence of the commercial style of architecture in Ames. The reference to Clarence J. Morgan needs to be confirmed because the archival information indicated his building to be "213."

## 21. Historical Significance Theme(s) \_\_\_\_\_

- a. Key structure/individually may qualify for the National Register (Ames Contributing)
- b. Contributing structure (Ames Compatible)
- c. Not eligible/intrusion (Ames Non-Contributing)

The site adjacent to this building, 201 5th Street and now occupied by the Ames Public Library, was, in the 1920s, the site of the Allen Motor Company and Garage. It was built in 1928, according to city council minutes, and shown in the 1940-41 Ames City Directory standing at 5th and Douglas.

The Clarence J. Morgan Bicycle Shop at 213 5th Street remains extant. Also built in 1928, it is historically significant because it calls attention to the upbuilding of 5th Street during the 1920s. This extension of the Ames central business district shows the booming local economy during the period.

## 22. Sources (for primary and secondary sources, give complete facts of publication: author, title, place of publication, date, \_\_\_\_\_)

\*Ames City Council minutes as edited by Shrader.

Prepared by William C. Page, Public Historian Date Fall 1991  
 Address 104 Southwest Fourth Street Des Moines, IA 50309 Telephone 515/280-8026  
 Organization The Dunbar/Jones Partnership

## For Office of Historic Preservation Use Only

### 1. Office Information Sources on this Property

- County Resource File \_\_\_\_\_
- Windshield Survey \_\_\_\_\_
- National Register \_\_\_\_\_
- Grants-in-Aid: \_\_\_\_\_
- Determination of Eligibility \_\_\_\_\_

Review and Compliance Project:

- Other \_\_\_\_\_
- Other \_\_\_\_\_
- Other \_\_\_\_\_

### 2. Subject Traces

- a. \_\_\_\_\_
- b. \_\_\_\_\_
- c. \_\_\_\_\_
- d. \_\_\_\_\_
- e. \_\_\_\_\_

### 3. Photo Images \_\_\_\_\_

- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_

# Iowa Site Inventory

Bureau of Historic Preservation  
Iowa State Department of Cultural Affairs  
Capitol Complex  
Des Moines, Iowa 50319

Site Number 092  
District Name \_\_\_\_\_  
Map Reference \_\_\_\_\_

## Identification

1. Site Name COMMERCIAL BUILDING
2. Village/Town/City AMES Township WASHINGTON County STORY
3. Street Address 217 5TH STREET
4. Legal Location
- |        |             |       |         |                            |
|--------|-------------|-------|---------|----------------------------|
| Urban: | subdivision | block | parcel  | subparcel                  |
| Rural: | township    | range | section | 1/4 section of 1/4 section |
5. UTM Location: zone \_\_\_\_\_ casting \_\_\_\_\_ northing \_\_\_\_\_ ; Acreage \_\_\_\_\_
6. Owner(s) Name \_\_\_\_\_
7. Owner(s) Address \_\_\_\_\_
- (Street address) (City) (State) (Zip)
8. Use: Present COMMERCIAL Original COMMERCIAL

## Description

9. Date of Construction: CIRCA 1928 Architect/Builder \_\_\_\_\_
10. Building Type
- |   |                                     |  |                                       |
|---|-------------------------------------|--|---------------------------------------|
| <input type="checkbox"/> single-family dwelling   | <input type="checkbox"/> industrial | <input type="checkbox"/> other institutional | <input type="checkbox"/> religious    |
| <input type="checkbox"/> multiple-family dwelling | <input type="checkbox"/> education  | <input type="checkbox"/> public              | <input type="checkbox"/> agricultural |
| <input checked="" type="checkbox"/> commercial    |                                     |  |                                       |
11. Exterior walls:  clapboard  stone  brick  board and batten  shingles  stucco  
 other \_\_\_\_\_
12. Structural System:  wood frame with interlocking joints  wood frame with light members (balloon frame)  
 masonry load-bearing walls  iron frame  steel frame with curtain walls  reinforced concrete  
 other \_\_\_\_\_
13. Condition:  excellent  good  fair  deteriorated
14. Integrity:  original site  moved--if so, when? \_\_\_\_\_  
Notes on alterations, additions (with dates and architect, if known) and any other notable features of building and site:  
\_\_\_\_\_ (see next page)
15. Related Outbuildings and Property:  barn  other farm structures  carriage house  garage  privy  
 other \_\_\_\_\_
16. Is the building endangered:  no  yes--if so, why? \_\_\_\_\_
17. Surroundings of the building:  open land  woodland  scattered outbuildings  densely built-up  commercial  
 industrial  residential  other \_\_\_\_\_

18. Map

19. Photo looking NE Photographer Wirth

See photo for 215 5th

# Significance

(Indicate sources of information for all statements)

## 20. Architectural Significance

- a. Ames Contributing (Key structure/individually may qualify for the National Register)
- b. Ames Compatible (Contributing structure)
- c. Ames Noncontributing (Not eligible/intrusion)

This is a two-story, brick commercial building with a one-room wide facade. The building is related to its neighbor to the east, 215 5th Street, in architectural concept, although this latter building is only one-story. The building at 217 features 1/1 double hung sash type windows on the second floor, two panels worked in brick above the windows, a two-course band above the panels, and finally a cornice also worked in brick. These architectural details mirror those at 215. Although the first floor has been greatly altered, original fabric of the building may remain extant behind the vertical wood siding that now covers the transom area.

This building is architecturally significant because it calls attention to the influence of the commercial style of architecture in Ames.

## 21. Historical Significance

Theme(s) \_\_\_\_\_

- a. Key structure/individually may qualify for the National Register (Ames Contributing)
- b. Contributing structure (Ames Compatible)
- c. Not eligible/intrusion (Ames Non-Contributing)

This building is significant because it calls attention to the commercial upbuilding of 5th Street during the 1920s. A boom time for the local Ames economy, the extension of the central business district into 5th Street is indicative of this prosperity.

## 22. Sources (for primary and secondary sources, give complete facts of publication: author, title, place of publication, date, etc

Ames City Council minutes as edited by Shrader.

Prepared by William C. Page, Public Historian Date Fall 1991  
 Address 104 Southwest Fourth Street Des Moines, IA 50309 Telephone 515/280-8026  
 Organization The Dunbar/Jones Partnership

## For Office of Historic Preservation Use Only

### 1. Office Information Sources on this Property

- County Resource File \_\_\_\_\_
- Windshield Survey \_\_\_\_\_
- National Register \_\_\_\_\_
- Grants-in-Aid: \_\_\_\_\_
- Determination of Eligibility \_\_\_\_\_

### Review and Compliance Project

- Other \_\_\_\_\_
- Other \_\_\_\_\_
- Other \_\_\_\_\_

### 2. Subject Traces

- a. \_\_\_\_\_
- b. \_\_\_\_\_
- c. \_\_\_\_\_
- d. \_\_\_\_\_
- e. \_\_\_\_\_

### 3. Photo Images \_\_\_\_\_

- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_

# Iowa Site Inventory

Bureau of Historic Preservation  
Iowa State Department of Cultural Affairs  
Capitol Complex  
Des Moines, Iowa 50319

Site Number 093  
District Name \_\_\_\_\_  
Map Reference \_\_\_\_\_

## Identification

1. Site Name STORY COUNTY BANK AND TRUST BUILDING  
2. Village/Town/City AMES Township WASHINGTON County STORY  
3. Street Address 301 5TH STREET  
4. Legal Location \_\_\_\_\_  
Urban: subdivision block parcel subparcel  
Rural: township range section 1/4 section of 1/4 section  
5. UTM Location: zone \_\_\_\_\_ easting \_\_\_\_\_ northing \_\_\_\_\_ ; Acreage \_\_\_\_\_  
6. Owner(s) Name \_\_\_\_\_  
7. Owner(s) Address \_\_\_\_\_  
(Street address) (City) (State) (Zip)  
8. Use: Present COMMERCIAL Original COMMERCIAL

## Description

9. Date of Construction: 1980S Architect/Builder \_\_\_\_\_  
10. Building Type  
 single-family dwelling  industrial  other institutional  religious  
 multiple-family dwelling  education  public  agricultural  
 commercial  
11. Exterior walls:  clapboard  stone  brick  board and batten  shingles  stucco  
 other \_\_\_\_\_  
12. Structural System:  wood frame with interlocking joints  wood frame with light members (balloon frame)  
 masonry load-bearing walls  iron frame  steel frame with curtain walls  reinforced concrete  
 other \_\_\_\_\_  
13. Condition:  excellent  good  fair  deteriorated  
14. Integrity:  original site  moved--if so, when? \_\_\_\_\_  
Notes on alterations, additions (with dates and architect, if known) and any other notable features of building and site:  
\_\_\_\_\_  
(see next page)  
15. Related Outbuildings and Property:  barn  other farm structures  carriage house  garage  privy  
 other \_\_\_\_\_  
16. Is the building endangered:  no  yes--if so, why? \_\_\_\_\_  
17. Surroundings of the building:  open land  woodland  scattered outbuildings  densely built-up  commercial  
 industrial  residential  other \_\_\_\_\_

18. Map \_\_\_\_\_

19. Photo looking NE Photographer Wirth



**Significance**

(Indicate sources of information for all statements)

**20. Architectural Significance**

- a. Ames Contributing (Key structure/individually may qualify for the National Register)
- b. Ames Compatible (Contributing structure)
- c. Ames Noncontributing (Not eligible/intrusion)

Constructed, it appears, in the 1980s, this building is an intrusion in an historic district.

**21. Historical Significance**

Theme(s) \_\_\_\_\_

- a. Key structure/individually may qualify for the National Register (Ames Contributing)
- b. Contributing structure (Ames Compatible)
- c. Not eligible/intrusion (Ames Non-Contributing)

Historical significance is not claimed for this building because of its recent construction.

**22. Sources** (for primary and secondary sources, give complete facts of publication: author, title, place of publication, date, etc

Prepared by William C. Page, Public Historian Date Fall 1991  
 Address 104 Southwest Fourth Street Des Moines, IA 50309 Telephone 515/280-8026  
 Organization The Dunbar/Jones Partnership

**For Office of Historic Preservation Use Only**

**1. Office Information Sources on this Property**

- County Resource File \_\_\_\_\_
- Windshield Survey \_\_\_\_\_
- National Register \_\_\_\_\_
- Grants-in-Aid: \_\_\_\_\_
- Determination of Eligibility \_\_\_\_\_

**[ ] Review and Compliance Project:**

- Other \_\_\_\_\_
- Other \_\_\_\_\_
- Other \_\_\_\_\_

**2. Subject Traces**

- a. \_\_\_\_\_
- b. \_\_\_\_\_
- c. \_\_\_\_\_
- d. \_\_\_\_\_
- e. \_\_\_\_\_

**3. Photo Images** \_\_\_\_\_

- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_

# Iowa Site Inventory

Bureau of Historic Preservation  
Iowa State Department of Cultural Affairs  
Capitol Complex  
Des Moines, Iowa 50319

Site Number 094  
District Name \_\_\_\_\_  
Map Reference \_\_\_\_\_

## Identification

1. Site Name THE DAILY TRIBUNE BUILDING
2. Village/Town/City AMES Township WASHINGTON County STORY
3. Street Address 313-315 5TH STREET
4. Legal Location \_\_\_\_\_  
*first listed in phone book 1938*  
Urban: \_\_\_\_\_ subdivision \_\_\_\_\_ block \_\_\_\_\_ parcel \_\_\_\_\_ subparcel \_\_\_\_\_  
Rural: \_\_\_\_\_ township \_\_\_\_\_ range \_\_\_\_\_ section \_\_\_\_\_ 1/4 section of 1/4 section \_\_\_\_\_
5. UTM Location: zone \_\_\_\_\_ easting \_\_\_\_\_ northing \_\_\_\_\_ ; Acreage \_\_\_\_\_
6. Owner(s) Name \_\_\_\_\_
7. Owner(s) Address \_\_\_\_\_  
(Street address) (City) (State) (Zip)
8. Use: Present COMMERCIAL Original COMMERCIAL

## Description

9. Date of Construction: VARIOUS Architect/Builder LEONARD WOLF
10. Building Type  
 single-family dwelling  industrial  other institutional  religious  
 multiple-family dwelling  education  public  agricultural  
 commercial
11. Exterior walls:  clapboard  stone  brick  board and batten  shingles  stucco  
 other \_\_\_\_\_
12. Structural System:  wood frame with interlocking joints  wood frame with light members (balloon frame)  
 masonry load-bearing walls  iron frame  steel frame with curtain walls  reinforced concrete  
 other \_\_\_\_\_
13. Condition:  excellent  good  fair  deteriorated
14. Integrity:  original site  moved--if so, when? \_\_\_\_\_  
Notes on alterations, additions (with dates and architect, if known) and any other notable features of building and site:  
\_\_\_\_\_  
(see next page)
15. Related Outbuildings and Property:  barn  other farm structures  carriage house  garage  privy  
 other \_\_\_\_\_
16. Is the building endangered:  no  yes--if so, why? \_\_\_\_\_
17. Surroundings of the building:  open land  woodland  scattered outbuildings  densely built-up  commercial  
 industrial  residential  other \_\_\_\_\_
18. Map \_\_\_\_\_
19. Photo looking N Photographer Wirth



**Significance**

(Indicate sources of information for all statements)

**20. Architectural Significance**

- a. Ames Contributing (Key structure/individually may qualify for the National Register)
- b. Ames Compatible (Contributing structure)
- c. Ames Noncontributing (Not eligible/intrusion)

*The Daily Tribune* Building is a complex that was constructed in three segments. The rear portion was built in 1939, the front portion on the west was built in 1947 as a clinic, and the front portion on the east was built in 1951, according to the 1926 updated Sanborn map. The clinic was the McFarland Medical Building planned, according to Ames City Council minutes, in 1938. Leonard Wolf, who was head of the architecture department at Iowa State, designed the original McFarland Clinic.

Because the most visible portion of this building was constructed after the arbitrary National Register 50-year cut-off date, this building is evaluated as intrusive/non-contributing in an historic commercial district. Because of the documented architect's design, however, and Wolf's connection with Iowa State, this building might qualify for criteria exception. The architectural significance of the building is high because of these connections, and further research is advised. This is an important building in Ames central business district, and the continued preservation of its integrity is high recommended.

**21. Historical Significance**

Theme(s) \_\_\_\_\_

- a. Key structure/individually may qualify for the National Register (Ames Contributing)
- b. Contributing structure (Ames Compatible)
- c. Not eligible/intrusion (Ames Non-Contributing)

Further research is advised concerning the McFarland medical practice, an important name in Ames medicine. McFarland patronized other work from Leonard Wolf, including a residence.

**22. Sources** (for primary and secondary sources, give complete facts of publication: author, title, place of publication, date, etc)

\*Sanborn fire insurance for 1926 updated.

Prepared by William C. Page, Public Historian Date Fall 1991  
 Address 104 Southwest Fourth Street Des Moines, IA 50309 Telephone 515/280-8026  
 Organization The Dunbar/Jones Partnership

**For Office of Historic Preservation Use Only**

**1. Office Information Sources on this Property**

- County Resource File \_\_\_\_\_
- Windshield Survey \_\_\_\_\_
- National Register \_\_\_\_\_
- Grants-in-Aid: \_\_\_\_\_
- Determination of Eligibility \_\_\_\_\_

Review and Compliance Project:

- Other \_\_\_\_\_
- Other \_\_\_\_\_
- Other \_\_\_\_\_

**2. Subject Traces**

- a. \_\_\_\_\_
- b. \_\_\_\_\_
- c. \_\_\_\_\_
- d. \_\_\_\_\_
- e. \_\_\_\_\_

**3. Photo Images** \_\_\_\_\_

- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_

# Iowa Site Inventory

Bureau of Historic Preservation  
Iowa State Department of Cultural Affairs  
Capitol Complex  
Des Moines, Iowa 50319

Site Number 089  
District Name \_\_\_\_\_  
Map Reference \_\_\_\_\_

## Identification

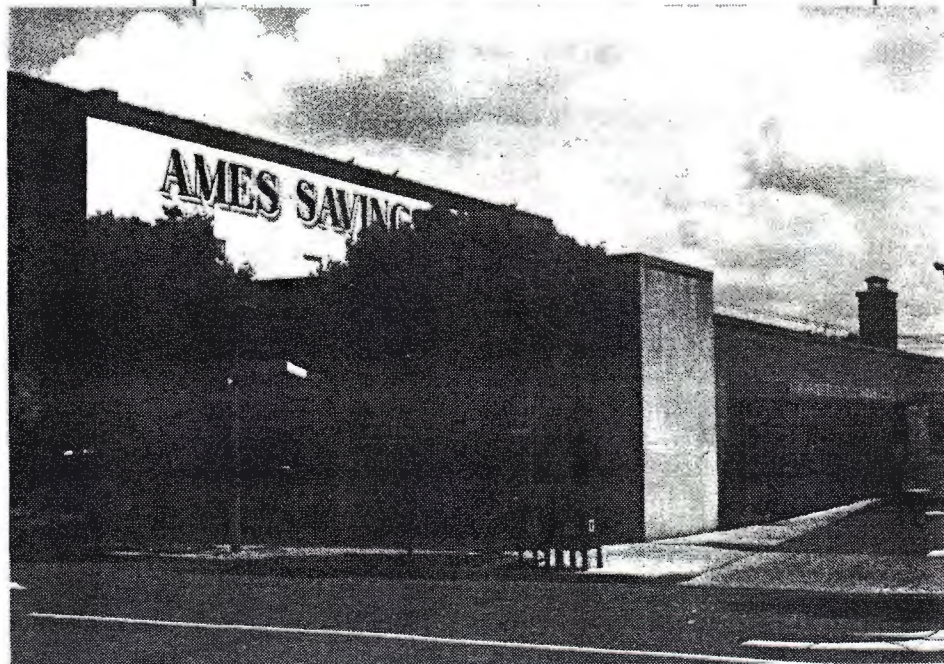
1. Site Name COMMERCIAL BUILDING  
2. Village/Town/City AMES Township WASHINGTON County STORY  
3. Street Address 424 MAIN STREET  
4. Legal Location \_\_\_\_\_  
Urban: \_\_\_\_\_ subdivision \_\_\_\_\_ block \_\_\_\_\_ parcel \_\_\_\_\_ subparcel \_\_\_\_\_  
Rural: \_\_\_\_\_ township \_\_\_\_\_ range \_\_\_\_\_ section \_\_\_\_\_ 1/4 section of 1/4 section \_\_\_\_\_  
5. UTM Location: zone \_\_\_\_\_ easting \_\_\_\_\_ northing \_\_\_\_\_ ; Acreage \_\_\_\_\_  
6. Owner(s) Name \_\_\_\_\_  
7. Owner(s) Address \_\_\_\_\_  
(Street address) (City) (State) (Zip)  
8. Use: Present COMMERCIAL Original COMMERCIAL

## Description

9. Date of Construction: POST WW II Architect/Builder \_\_\_\_\_  
10. Building Type  
 single-family dwelling  industrial  other institutional  religious  
 multiple-family dwelling  education  public  agricultural  
 commercial  
11. Exterior walls:  clapboard  stone  brick  board and batten  shingles  stucco  
 other \_\_\_\_\_  
12. Structural System:  wood frame with interlocking joints  wood frame with light members (balloon frame)  
 masonry load-bearing walls  iron frame  steel frame with curtain walls  reinforced concrete  
 other \_\_\_\_\_  
13. Condition:  excellent  good  fair  deteriorated  
14. Integrity:  original site  moved--if so, when? \_\_\_\_\_  
Notes on alterations, additions (with dates and architect, if known) and any other notable features of building and site:  
\_\_\_\_\_  
(see next page)  
15. Related Outbuildings and Property:  barn  other farm structures  carriage house  garage  privy  
 other \_\_\_\_\_  
16. Is the building endangered:  no  yes--if so, why? \_\_\_\_\_  
17. Surroundings of the building:  open land  woodland  scattered outbuildings  densely built-up  commercial  
 industrial  residential  other \_\_\_\_\_

18. Map \_\_\_\_\_

19. Photo looking SE Photographer Wirth





**Significance**

(Indicate sources of information for all statements)

**20. Architectural Significance**

- a. Ames Contributing (Key structure/individually may qualify for the National Register)
- b. Ames Compatible (Contributing structure)
- c. Ames Noncontributing (Not eligible/intrusion)

**Ames Savings & Loan Association**

This is a one-story, brick commercial building with cast concrete veneer panels and a one-room wide facade. Constructed after World War II, this building is an intrusion in an historic district.

**21. Historical Significance**

Theme(s) \_\_\_\_\_

- a. Ames Contributing (Key structure/individually may qualify for the National Register)
- b. Ames Compatible (Contributing structure)
- c. Ames Noncontributing (Not eligible/intrusion)

Prior to 1911, this block of Main Street was almost entirely residential. Between 1911 and 1920, the south side of this block shifted into mostly commercial use.

At an earlier time, the Ames bus station occupied this site.

**22. Sources** (for primary and secondary sources, give complete facts of publication: author, title, place of publication, date, \_\_\_\_\_)

Prepared by William C. Page, Public Historian Date Fall 1991  
 Address 104 Southwest Fourth Street Des Moines, IA 50309 Telephone 515/280-8026  
 Organization The Dunbar/Jones Partnership

**For Office of Historic Preservation Use Only**

**1. Office Information Sources on this Property**

- County Resource File \_\_\_\_\_
- Windshield Survey \_\_\_\_\_
- National Register \_\_\_\_\_
- Grants-in-Aid: \_\_\_\_\_
- Determination of Eligibility \_\_\_\_\_

**[ ] Review and Compliance Project:**

- Other \_\_\_\_\_
- Other \_\_\_\_\_
- Other \_\_\_\_\_

**2. Subject Traces**

- a. \_\_\_\_\_
- b. \_\_\_\_\_
- c. \_\_\_\_\_
- d. \_\_\_\_\_
- e. \_\_\_\_\_

**3. Photo Images** \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

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\_\_\_\_\_

# Iowa Site Inventory

Bureau of Historic Preservation  
Iowa State Department of Cultural Affairs  
Capitol Complex  
Des Moines, Iowa 50319

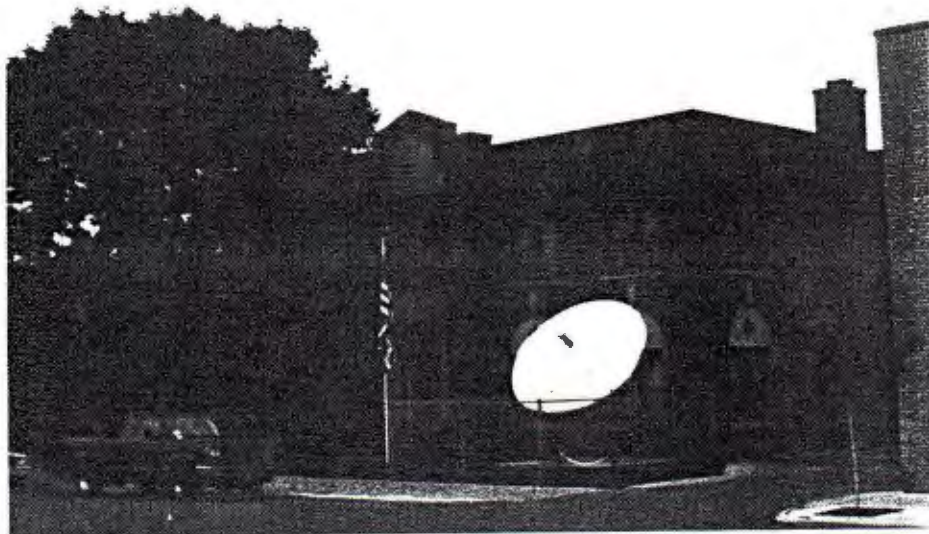
Site Number 095  
District Name \_\_\_\_\_  
Map Reference \_\_\_\_\_

## Identification

1. Site Name THE TRIBUNE PUBLISHING COMPANY BUILDING  
2. Village/Town/City AMES Township WASHINGTON County STORY  
3. Street Address 317-319 5TH STREET  
4. Legal Location  
Urban: subdivision block parcel subparcel  
Rural: township range section 1/4 section of 1/4 section  
5. UTM Location: zone \_\_\_\_\_ easting \_\_\_\_\_ northing \_\_\_\_\_ ; Acreage \_\_\_\_\_  
6. Owner(s) Name \_\_\_\_\_  
7. Owner(s) Address \_\_\_\_\_  
(Street address) (City) (State) (Zip)  
8. Use: Present COMMERCIAL Original COMMERCIAL

## Description

9. Date of Construction: AFTER 1926\* Architect/Builder \_\_\_\_\_  
10. Building Type  
 single-family dwelling  industrial  other institutional  religious  
 multiple-family dwelling  education  public  agricultural  
 commercial  
11. Exterior walls:  clapboard  stone  brick  board and batten  shingles  stucco  
 other \_\_\_\_\_  
12. Structural System:  wood frame with interlocking joints  wood frame with light members (balloon frame)  
 masonry load-bearing walls  iron frame  steel frame with curtain walls  reinforced concrete  
 other \_\_\_\_\_  
13. Condition:  excellent  good  fair  deteriorated  
14. Integrity:  original site  moved--if so, when? \_\_\_\_\_  
Notes on alterations, additions (with dates and architect, if known) and any other notable features of building and site:  
\_\_\_\_\_(see next page)  
15. Related Outbuildings and Property:  barn  other farm structures  carriage house  garage  privy  
 other \_\_\_\_\_  
16. Is the building endangered:  no  yes--if so, why? \_\_\_\_\_  
17. Surroundings of the building:  open land  woodland  scattered outbuildings  densely built-up  commercial  
 industrial  residential  other \_\_\_\_\_  
18. Map \_\_\_\_\_ 19. Photo looking NW Photographer Wirth



# Significance

(Indicate sources of information for all statements)

## 20. Architectural Significance

- a. Ames Contributing (Key structure/individually may qualify for the National Register)
- b. Ames Compatible (Contributing structure)
- c. Ames Noncontributing (Not eligible/intrusion)

## 21. Historical Significance

Theme(s) \_\_\_\_\_

- a. Key structure/individually may qualify for the National Register (Ames Contributing)
- b. Contributing structure (Ames Compatible)
- c. Not eligible/intrusion (Ames Non-Contributing)

This building was constructed to serve as the publishing plant for the *Ames Daily Tribune*. Built shortly after 1926 (and unlisted on the Sanborn map of that year), this building is historically significant because it calls attention to the commercial upbuilding of 5th Street during the 1920s. Prior to this time, this neighborhood had been given over to residential and religious buildings. The growing complexity of Ames' commerce and the booming local economy prompted the expansion of the central business district into 5th Street during the 1920s. Buildings such as this publishing plant show 5th Street being redeveloped to meet specific service needs of the community.

## 22. Sources (for primary and secondary sources, give complete facts of publication: author, title, place of publication, date, etc)

\* Sanborn fire insurance map for 1926.

Prepared by William C. Page, Public Historian Date Fall 1991  
Address 104 Southwest Fourth Street Des Moines, IA 50309 Telephone 515/280-8026  
Organization The Dunbar/Jones Partnership

## For Office of Historic Preservation Use Only

### 1. Office Information Sources on this Property

- County Resource File \_\_\_\_\_
- Windshield Survey \_\_\_\_\_
- National Register \_\_\_\_\_
- Grants-in-Aid: \_\_\_\_\_
- Determination of Eligibility \_\_\_\_\_

Review and Compliance Project:

- Other \_\_\_\_\_
- Other \_\_\_\_\_
- Other \_\_\_\_\_

### 2. Subject Traces

- a. \_\_\_\_\_
- b. \_\_\_\_\_
- c. \_\_\_\_\_
- d. \_\_\_\_\_
- e. \_\_\_\_\_

### 3. Photo Images \_\_\_\_\_

- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_

# Iowa Site Inventory

Bureau of Historic Preservation  
Iowa State Department of Cultural Affairs  
Capitol Complex  
Des Moines, Iowa 50319

Site Number 095

## CONTINUATION SHEET

### Significance

#### 20. Architectural Significance

This is a two-story, brick commercial building, which is unusual in Ames because it is free-standing. The building features a symmetrically designed facade with four bays flanking a central entrance bay. The entrance bay is outset from the main block of the facade with a pediment and cast concrete plaque with "Tribune" and a geometric design. The other bays are defined as insets worked in brick. These bays contain the building's windows. On the first floor they are paired, 1/1 double hung sash type surmounted by arched cavities, which feature geometric decorations and cast concrete keystones. The second floor windows are also 1/1 double hung sash type, but without the arched motif on the first floor. Brickworked brackets are situated above the second floor windows. These brackets are flush with the main block of the building.

This building is significant as an outstanding example of the commercial style of architecture as practiced in Ames. Although an architect has not yet been identified for this building, it was almost certainly professionally planned.

# Iowa Site Inventory

Bureau of Historic Preservation  
Iowa State Department of Cultural Affairs  
Capitol Complex  
Des Moines, Iowa 50319

Site Number 096  
District Name \_\_\_\_\_  
Map Reference \_\_\_\_\_

## Identification

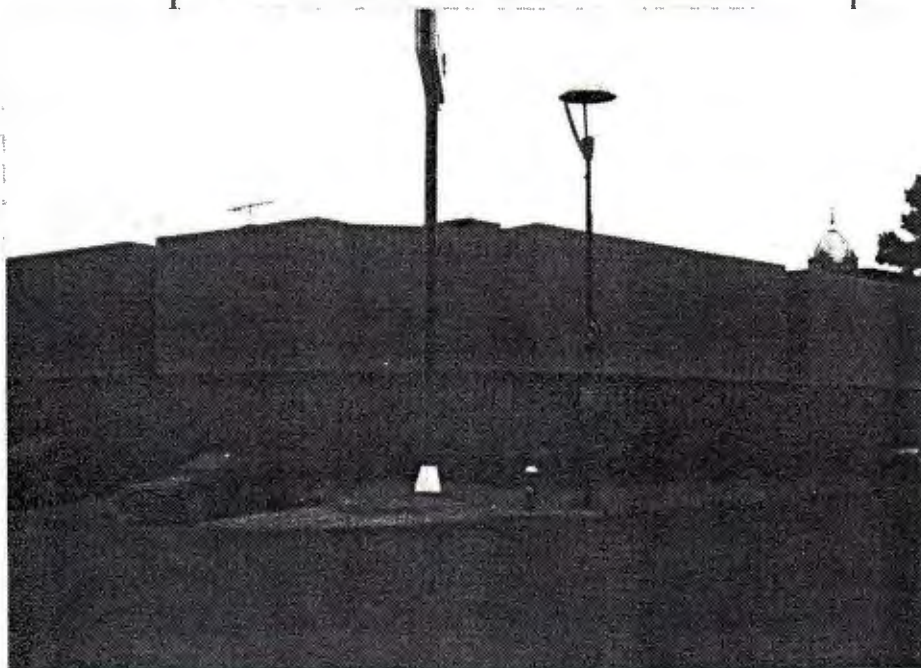
1. Site Name FIRST NATIONAL BANK BUILDING  
2. Village/Town/City AMES Township WASHINGTON County STORY  
3. Street Address 401 5TH STREET  
4. Legal Location \_\_\_\_\_  
Urban: \_\_\_\_\_ subdivision \_\_\_\_\_ block \_\_\_\_\_ parcel \_\_\_\_\_ subparcel \_\_\_\_\_  
Rural: \_\_\_\_\_ township \_\_\_\_\_ range \_\_\_\_\_ section \_\_\_\_\_ 1/4 section of 1/4 section \_\_\_\_\_  
5. UTM Location: zone \_\_\_\_\_ easting \_\_\_\_\_ northing \_\_\_\_\_ ; Acreage \_\_\_\_\_  
6. Owner(s) Name \_\_\_\_\_  
7. Owner(s) Address \_\_\_\_\_  
(Street address) (City) (State) (Zip)  
8. Use: Present COMMERCIAL Original COMMERCIAL

## Description

9. Date of Construction: 1980S Architect/Builder \_\_\_\_\_  
10. Building Type  
 single-family dwelling  industrial  other institutional  religious  
 multiple-family dwelling  education  public  agricultural  
 commercial  
11. Exterior walls:  clapboard  stone  brick  board and batten  shingles  stucco  
 other \_\_\_\_\_  
12. Structural System:  wood frame with interlocking joints  wood frame with light members (balloon frame)  
 masonry load-bearing walls  iron frame  steel frame with curtain walls  reinforced concrete  
 other \_\_\_\_\_  
13. Condition:  excellent  good  fair  deteriorated  
14. Integrity:  original site  moved--if so, when? \_\_\_\_\_  
Notes on alterations, additions (with dates and architect, if known) and any other notable features of building and site:  
\_\_\_\_\_(see next page)  
15. Related Outbuildings and Property:  barn  other farm structures  carriage house  garage  privy  
 other \_\_\_\_\_  
16. Is the building endangered:  no  yes--if so, why? \_\_\_\_\_  
17. Surroundings of the building:  open land  woodland  scattered outbuildings  densely built-up  commercial  
 industrial  residential  other \_\_\_\_\_

18. Map

19. Photo looking NE Photographer Wirth



**Significance**

(Indicate sources of information for all statements)

**20. Architectural Significance**

- a. Ames Contributing (Key structure/individually may qualify for the National Register)
- b. Ames Compatible (Contributing structure)
- c. Ames Noncontributing (Not eligible/intrusion)

Constructed, it appears, in the 1980s, this building is an intrusion in an historic district.

**21. Historical Significance** Theme(s) \_\_\_\_\_

- a. Key structure/individually may qualify for the National Register (Ames Contributing)
- b. Contributing structure (Ames Compatible)
- c. Not eligible/intrusion (Ames Non-Contributing)

Historical significance is not claimed for this building because of its recent construction.

**22. Sources** (for primary and secondary sources, give complete facts of publication: author, title, place of publication, date, etc

Prepared by William C. Page, Public Historian Date Fall 1991  
 Address 104 Southwest Fourth Street Des Moines, IA 50309 Telephone 515/280-8026  
 Organization The Dunbar/Iones Partnership

**For Office of Historic Preservation Use Only**

**1. Office Information Sources on this Property**

- County Resource File \_\_\_\_\_
- Windshield Survey \_\_\_\_\_
- National Register \_\_\_\_\_
- Grants-in-Aid: \_\_\_\_\_
- Determination of Eligibility \_\_\_\_\_

Review and Compliance Project:

- Other \_\_\_\_\_
- Other \_\_\_\_\_
- Other \_\_\_\_\_

**2. Subject Traces**

- a. \_\_\_\_\_
- b. \_\_\_\_\_
- c. \_\_\_\_\_
- d. \_\_\_\_\_
- e. \_\_\_\_\_

**3. Photo Images** \_\_\_\_\_

- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_

# Iowa Site Inventory

Bureau of Historic Preservation  
Iowa State Department of Cultural Affairs  
Capitol Complex  
Des Moines, Iowa 50319

Site Number 097  
District Name \_\_\_\_\_  
Map Reference \_\_\_\_\_

## Identification

1. Site Name COMMERCIAL BUILDING
2. Village/Town/City AMES Township WASHINGTON County STORY
3. Street Address 108 5TH STREET
4. Legal Location  
Urban: \_\_\_\_\_ subdivision \_\_\_\_\_ block \_\_\_\_\_ parcel \_\_\_\_\_ subparcel \_\_\_\_\_  
Rural: \_\_\_\_\_ township \_\_\_\_\_ range \_\_\_\_\_ section \_\_\_\_\_ 1/4 section of 1/4 section \_\_\_\_\_
5. UTM Location: zone \_\_\_\_\_ easting \_\_\_\_\_ northing \_\_\_\_\_; Acreage \_\_\_\_\_
6. Owner(s) Name \_\_\_\_\_
7. Owner(s) Address \_\_\_\_\_  
(Street address) (City) (State) (Zip)
8. Use: Present COMMERCIAL Original COMMERCIAL

## Description

9. Date of Construction: BET. 1920-1926\* Architect/Builder \_\_\_\_\_
10. Building Type  
 single-family dwelling  industrial  other institutional  religious  
 multiple-family dwelling  education  public  agricultural  
 commercial
11. Exterior walls:  clapboard  stone  brick  board and batten  shingles  stucco  
 other \_\_\_\_\_
12. Structural System:  wood frame with interlocking joints  wood frame with light members (balloon frame)  
 masonry load-bearing walls  iron frame  steel frame with curtain walls  reinforced concrete  
 other \_\_\_\_\_
13. Condition:  excellent  good  fair  deteriorated
14. Integrity:  original site  moved--if so, when? \_\_\_\_\_  
Notes on alterations, additions (with dates and architect, if known) and any other notable features of building and site:  
\_\_\_\_\_  
(see next page)
15. Related Outbuildings and Property:  barn  other farm structures  carriage house  garage  privy  
 other \_\_\_\_\_
16. Is the building endangered:  no  yes--if so, why? \_\_\_\_\_
17. Surroundings of the building:  open land  woodland  scattered outbuildings  densely built-up  commercial  
 industrial  residential  other \_\_\_\_\_

18. Map



19. Photo looking S Photographer Wirth



# Significance

(Indicate sources of information for all statements)

## 20. Architectural Significance

- a. Ames Contributing (Key structure/individually may qualify for the National Register)
- b. Ames Compatible (Contributing structure)
- c. Ames Noncontributing (Not eligible/intrusion)

This is a two-story, brick building with a one-room wide facade. Constructed between 1920 and 1926, this building has hollow tile block load-bearing walls. The building features architectural details worked in brick. These include a simple cornice achieved through six brackets paired topped by cast concrete coping with three crenelations above the paired brackets. The facade has been repointed in areas with mortar lighter in color than the balance of the building. The storefront area of the building retains its original cavity although the storefront itself has been altered. The second floor has two sets of paired windows. These are 1/1 double hung sash in type and appear to be original to the building.

This building is significant because it calls attention to the commercial style of architecture as practiced in Ames. The original windows on the second floor are important features of the building, and the owners are encouraged to retain them. The light colored panels attached to the building are distracting and not original to it but they can be removed and do not impair the integrity of the building.

## 21. Historical Significance

Theme(s) \_\_\_\_\_

- a. Key structure/individually may qualify for the National Register (Ames Contributing)
- b. Contributing structure (Ames Compatible)
- c. Not eligible/intrusion (Ames Non-Contributing)

This building calls attention to the extension of the Ames central business district into 5th Street during the 1920s and the upbuilding of this area for commercial purposes. Prior to about 1920, for example, this site was vacant.

## 22. Sources (for primary and secondary sources, give complete facts of publication: author, title, place of publication, date,

\* Sanborn fire insurance maps for 1920 and 1926.

Prepared by William C. Page, Public Historian Date Fall 1991  
 Address 104 Southwest Fourth Street Des Moines, IA 50309 Telephone 515/280-8026  
 Organization The Dunbar/Jones Partnership

## For Office of Historic Preservation Use Only

### 1. Office Information Sources on this Property

- County Resource File \_\_\_\_\_
- Windshield Survey \_\_\_\_\_
- National Register \_\_\_\_\_
- Grants-in-Aid: \_\_\_\_\_
- Determination of Eligibility \_\_\_\_\_

Review and Compliance Project:

- Other \_\_\_\_\_
- Other \_\_\_\_\_
- Other \_\_\_\_\_

### 2. Subject Traces

- a. \_\_\_\_\_
- b. \_\_\_\_\_
- c. \_\_\_\_\_
- d. \_\_\_\_\_
- e. \_\_\_\_\_

### 3. Photo Images \_\_\_\_\_

- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_



# Iowa Site Inventory

Bureau of Historic Preservation  
Iowa State Department of Cultural Affairs  
Capitol Complex  
Des Moines, Iowa 50319

Site Number 098  
District Name \_\_\_\_\_  
Map Reference \_\_\_\_\_

## Identification

1. Site Name COMMERCIAL BUILDING  
2. Village/Town/City AMES Township WASHINGTON County STORY  
3. Street Address 114-116 5TH STREET  
4. Legal Location  
Urban: \_\_\_\_\_ subdivision \_\_\_\_\_ block \_\_\_\_\_ parcel \_\_\_\_\_ subparcel \_\_\_\_\_  
Rural: \_\_\_\_\_ township \_\_\_\_\_ range \_\_\_\_\_ section \_\_\_\_\_ 1/4 section of 1/4 section \_\_\_\_\_  
5. UTM Location: zone \_\_\_\_\_ easting \_\_\_\_\_ northing \_\_\_\_\_ ; Acreage \_\_\_\_\_  
6. Owner(s) Name \_\_\_\_\_  
7. Owner(s) Address \_\_\_\_\_  
(Street address) (City) (State) (Zip)  
8. Use: Present COMMERCIAL Original COMMERCIAL

## Description

9. Date of Construction: 1926 OR LATER\* Architect/Builder \_\_\_\_\_  
10. Building Type  
 single-family dwelling  industrial  other institutional  religious  
 multiple-family dwelling  education  public  agricultural  
 commercial  
11. Exterior walls:  clapboard  stone  brick  board and batten  shingles  stucco  
 other \_\_\_\_\_  
12. Structural System:  wood frame with interlocking joints  wood frame with light members (balloon frame)  
 masonry load-bearing walls  iron frame  steel frame with curtain walls  reinforced concrete  
 other \_\_\_\_\_  
13. Condition:  excellent  good  fair  deteriorated  
14. Integrity:  original site  moved--if so, when? \_\_\_\_\_  
Notes on alterations, additions (with dates and architect, if known) and any other notable features of building and site:  
\_\_\_\_\_  
(see next page)  
15. Related Outbuildings and Property:  barn  other farm structures  carriage house  garage  privy  
 other \_\_\_\_\_  
16. Is the building endangered:  no  yes--if so, why? \_\_\_\_\_  
17. Surroundings of the building:  open land  woodland  scattered outbuildings  densely built-up  commercial  
 industrial  residential  other \_\_\_\_\_

18. Map

19. Photo looking SW Photographer Wirth



# Significance

(Indicate sources of information for all statements)

## 20. Architectural Significance

- a. Ames Contributing (Key structure/individually may qualify for the National Register)
- b. Ames Compatible (Contributing structure)
- c. Ames Noncontributing (Not eligible/intrusion)

See continuation sheet.

## 21. Historical Significance Theme(s) \_\_\_\_\_

- a. Key structure/individually may qualify for the National Register (Ames Contributing)
- b. Contributing structure (Ames Compatible)
- c. Not eligible/intrusion (Ames Non-Contributing)

This building is significant because it calls attention to the upbuilding of 5th Street in the 1920s. In 1926, for example, this site was vacant. In 1920 (and for some years prior to this), the site had been used for "Crook's Feed Yard." The construction of this impressive building (with apartments, presumably, on the second floor) demonstrates the strength of the Ames economy during the boom period of the 1920s and the growing specialized land uses of property in the central business district.

## 22. Sources (for primary and secondary sources, give complete facts of publication: author, title, place of publication, date, etc

\* Sanborn fire insurance map for 1926 shows this site vacant.

Prepared by William C. Page, Public Historian Date Fall 1991  
 Address 104 Southwest Fourth Street Des Moines, IA 50309 Telephone 515/280-8026  
 Organization The Dunbar/Jones Partnership

## For Office of Historic Preservation Use Only

### 1. Office Information Sources on this Property

- County Resource File \_\_\_\_\_
- Windshield Survey \_\_\_\_\_
- National Register \_\_\_\_\_
- Grants-in-Aid: \_\_\_\_\_
- Determination of Eligibility \_\_\_\_\_

### Review and Compliance Project:

- Other \_\_\_\_\_
- Other \_\_\_\_\_
- Other \_\_\_\_\_

### 2. Subject Traces

- a. \_\_\_\_\_
- b. \_\_\_\_\_
- c. \_\_\_\_\_
- d. \_\_\_\_\_
- e. \_\_\_\_\_

### 3. Photo Images \_\_\_\_\_

- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_

# Iowa Site Inventory

Bureau of Historic Preservation  
Iowa State Department of Cultural Affairs  
Capitol Complex  
Des Moines, Iowa 50319

Site Number 098

## CONTINUATION SHEET

### Significance

#### 20. Architectural Significance

This is a two-story, brick building with a two-room wide facade. It features polychrome brick. Some of this brick is orange, other brick is either red or dark red. The overall effect is one of rich texture. There is a large brick plaque placed above the storefront. This is an unusual location for the plaque in Ames--usually they occur directly below the building's parapet. As such, the plaque here takes the place of the transom area, which would usually appear above the storefront windows and door on buildings constructed slightly earlier in Ames. Other original features of the building are the front door, the second floor window frames which appear to be metal, and the cast concrete sills on the second floor windows. The building has a rudimentary, brickworked cornice on the facade. Although the storefront of this building has been infilled and detracts from its appearance, these alterations have respected the original cavity of the building and could be reversed.

This building is significant because it is an outstanding example of the commercial style of architecture in Ames at an elemental simplicity. The texture of the building's brick helps relieve this restraint.

# Iowa Site Inventory

Bureau of Historic Preservation  
Iowa State Department of Cultural Affairs  
Des Moines, Iowa 50319

Site Number 099  
Map Reference \_\_\_\_\_

## Identification

1. Site Name TILDEN MANUFACTURING COMPANY BUILDING  
2. Village/Town/City AMES Township WASHINGTON County STORY  
3. Street Address 208-210 5TH STREET  
4. Legal Location  
Urban: \_\_\_\_\_ subdivision \_\_\_\_\_ block \_\_\_\_\_ parcel \_\_\_\_\_ subparcel \_\_\_\_\_  
Rural: \_\_\_\_\_ township \_\_\_\_\_ range \_\_\_\_\_ section \_\_\_\_\_ 1/4 section of 1/4 section \_\_\_\_\_  
5. UTM Location: zone \_\_\_\_\_ easting \_\_\_\_\_ northing \_\_\_\_\_; Acreage \_\_\_\_\_  
6. Owner(s) Name \_\_\_\_\_  
7. Owner(s) Address \_\_\_\_\_  
(Street address) (City) (State) (Zip)  
8. Use: Present COMMERCIAL Original COMMERCIAL

## Description

9. Date of Construction: 1927 Architect/Builder KIMBALL, BALIE & COWGILL  
10. Building Type  
 single-family dwelling  industrial  other institutional  religious  
 multiple-family dwelling  education  public  agricultural  
 commercial  
11. Exterior walls:  clapboard  stone  brick  board and batten  shingles  stucco  
 other \_\_\_\_\_  
12. Structural System:  wood frame with interlocking joints  wood frame with light members (balloon frame)  
 masonry load-bearing walls  iron frame  steel frame with curtain walls  reinforced concrete  
 other \_\_\_\_\_  
13. Condition:  excellent  good  fair  deteriorated  
14. Integrity:  original site  moved--if so, when? \_\_\_\_\_  
Notes on alterations, additions (with dates and architect, if known) and any other notable features of building and site:  
\_\_\_\_\_  
(see next page)  
15. Related Outbuildings and Property:  barn  other farm structures  carriage house  garage  privy  
 other \_\_\_\_\_  
16. Is the building endangered:  no  yes--if so, why? \_\_\_\_\_  
17. Surroundings of the building:  open land  woodland  scattered outbuildings  densely built-up  commercial  
 industrial  residential  other \_\_\_\_\_

18. Map \_\_\_\_\_

19. Photo looking SE Photographer Wirth



# Significance

(Indicate sources of information for all statements)

## 20. Architectural Significance

- a. Ames Contributing (Key structure/individually may qualify for the National Register)
- b. Ames Compatible (Contributing structure)
- c. Ames Noncontributing (Not eligible/intrusion)

See continuation sheet.

## 21. Historical Significance Theme(s) \_\_\_\_\_

- a. Key structure/individually may qualify for the National Register (Ames Contributing)
- b. Contributing structure (Ames Compatible)
- c. Not eligible/intrusion (Ames Non-Contributing)

The first floor was occupied by Milepost Publishing, a weekly newspaper. They were the primary occupant. First owned by Lon Harden, "The Times" was later owned by Galen Tilden. This business occupied much of the basement of the Masonic Buidling (413-427 Douglas).

At a later date, Galen Tilden brought in people who operated the Service Printing Company. He brought in Sherman Needham who operated the Milepost. It was there until it ceased operations in the 1940s. The microfilms of the Milepost are on file in the Ames Public Library.

The building was also used for offices. In 1940 other occupants of the building included the Iowa Implement Dealers Association and two law firms. Lechner Engineering, an engineering consulting firm, later bought the building and based their operations on the second floor. Carl P. Lechner headed the business. The firm advertised themselves as "land surveyors and airport engineers since 1929" in the 1958 Ames City Directory.

This building is significant because it calls attention to the upbuilding of 5th Street in the 1920s. The phenomenon demonstrates the strength of the local economy of Ames during the period. Ames has traditionally had little industry, and the Tilden Manufacturing Company is an exception. A manufacturer of products related to college and university life (like pennants, blankets, gowns, et cetera), these products relate nonetheless to an academic market.

## 22. Sources (for primary and secondary sources, give complete facts of publication: author, title, place of publication, date, etc.)

Informant interview with Farwell T. Brown.  
Department of Engineering Building Permit, City of Ames; Filed October 1, 1927.

Prepared by William C. Page, Public Historian Date Fall 1991  
 Address 104 Southwest Fourth Street Des Moines, IA 50309 Telephone 515/280-8026  
 Organization The Dunbar/Jones Partnership

## For Office of Historic Preservation Use Only

### 1. Office Information Sources on this Property

- County Resource File \_\_\_\_\_
- Windshield Survey \_\_\_\_\_
- National Register \_\_\_\_\_
- Grants-in-Aid: \_\_\_\_\_
- Determination of Eligibility \_\_\_\_\_

### Review and Compliance Project

- Other \_\_\_\_\_
- Other \_\_\_\_\_
- Other \_\_\_\_\_

### 2. Subject Traces

- a. \_\_\_\_\_
- b. \_\_\_\_\_
- c. \_\_\_\_\_
- d. \_\_\_\_\_
- e. \_\_\_\_\_

### 3. Photo Images \_\_\_\_\_

- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_

# Iowa Site Inventory

Bureau of Historic Preservation  
Iowa State Department of Cultural Affairs  
Capitol Complex  
Des Moines, Iowa 50319

Site Number 099

## CONTINUATION SHEET

### Significance

#### 20. Architectural Significance

The Tilden Manufacturing Company had occupied, in 1916, the second floor of the Masonic Building. In 1926 Galen Tilden announced that the Tilden Manufacturing Company would build a new 3-story building west of the Masonic Hall. The concept of this building was to be an "extension" of the Masonic Building occupying 140 feet facing on 5th Street (*ADT*, November 4, 1926, page 1). Discussions had earlier taken place involving the sale of the Masonic Building (*ADT*, August 11, 1926, page 1), but evidently these fell through. Tilden Manufacturing let the contract for construction of this building to Ben J. Cole of Ames (*ADT*, September 20, 1927, page 1). The company moved into the building in 1929 and occupied the two top floors. There is a passageway between this building and the Masonic Building. The company retained occupancy of the Masonic Building, and this passageway provided access between the two buildings.

Kimball, Balie & Cowgill, architects of Ames, designed this building and clearly integrated its design with its neighbor to the east, the Masonic Hall. Construction of the Tilden Building further anchored 5th and Douglas as a primary intersection in Ames central business district. This building cost \$45,000 when first constructed.

This building is an outstanding example of a commercial structure in Ames. First because it is designed by a local architectural firm. Allan Kimball headed Architecture at Iowa State. The building is additionally significant because it employs reinforced concrete as a structural system, somewhat unusual at the time in Ames central business district. (This structural design relates to the building's function to house a manufacturing firm). The building is also significant because it calls attention to the Tilden family's on-going concern for good architecture in Ames. The family had, for example, remodeled its building at 409 Douglas to unify architectural design in this street.

Finally, the Tilden Building is significant because it is conceived to and succeeds in complimenting its neighbor to the east, the Masonic Building. Notable features in common between the two are their equal height, their compatible massing, the paired windows which they employ (taller windows on the third floors), 1/1 double hung window sash on the second floor and combination configuration on the third, cast concrete window sills on the second floor which extend across the facades as stringcourses, and stylized lintels over the third floor windows. The Tilden Building adds paired cast concrete geometric blocks above this lintel. No attempt was made to match the brick of the Masonic and the Tilden Buildings. The Tilden Building employs red brown brick on the second and third floors and dark orange on the first floor. This variation in color tends to strengthen the building's horizontal feeling. Although the first floor windows have been infilled and are very distracting, this alteration can be reversed. Windows on the second and third floor appear to be combination aluminum. The building otherwise retains a high integrity.

# Iowa Site Inventory

Bureau of Historic Preservation  
Iowa State Department of Cultural Affairs  
Capitol Complex  
Des Moines, Iowa 50319

Site Number 100  
District Name \_\_\_\_\_  
Map Reference \_\_\_\_\_

## Identification

1. Site Name COMMERCIAL BUILDING  
2. Village/Town/City AMES Township WASHINGTON County STORY  
3. Street Address 218 5TH STREET  
4. Legal Location \_\_\_\_\_  
Urban: subdivision block parcel subparcel  
Rural: township range section 1/4 section of 1/4 section  
5. UTM Location: zone \_\_\_\_\_ easting \_\_\_\_\_ northing \_\_\_\_\_ ; Acreage \_\_\_\_\_  
6. Owner(s) Name \_\_\_\_\_  
7. Owner(s) Address \_\_\_\_\_  
(Street address) (City) (State) (Zip)  
8. Use: Present COMMERCIAL Original COMMERCIAL

## Description

9. Date of Construction: CIRCA 1944 Architect/Builder JOE TOWNSEND, ARCHITECT  
10. Building Type  
 single-family dwelling  industrial  other institutional  religious  
 multiple-family dwelling  education  public  agricultural  
 commercial  
11. Exterior walls:  clapboard  stone  brick  board and batten  shingles  stucco  
 other \_\_\_\_\_  
12. Structural System:  wood frame with interlocking joints  wood frame with light members (balloon frame)  
 masonry load-bearing walls  iron frame  steel frame with curtain walls  reinforced concrete  
 other \_\_\_\_\_  
13. Condition:  excellent  good  fair  deteriorated  
14. Integrity:  original site  moved--if so, when? \_\_\_\_\_  
Notes on alterations, additions (with dates and architect, if known) and any other notable features of building and site:  
(see next page)  
15. Related Outbuildings and Property:  barn  other farm structures  carriage house  garage  privy  
 other \_\_\_\_\_  
16. Is the building endangered:  no  yes--if so, why? \_\_\_\_\_  
17. Surroundings of the building:  open land  woodland  scattered outbuildings  densely built-up  commercial  
 industrial  residential  other \_\_\_\_\_  
18. Map \_\_\_\_\_  
19. Photo looking SE Photographer Wirth



# Significance

(Indicate sources of information for all statements)

## 20. Architectural Significance

- a. Ames Contributing (Key structure/individually may qualify for the National Register)
- b. Ames Compatible (Contributing structure)
- c. Ames Noncontributing (Not eligible/intrusion)

This is a one-story, brick commercial building with an unusually wide facade. The building features a creamy colored brick and a chevron design worked in brick at the top of the building. The storefront has a pair of large, plate glass windows framed on either side by opaque glass block. These block and the chevrons give a vertical feeling to the building which otherwise is strongly horizontal in concept.

This building is associated with 220 Main Street. Joe Townsend, architect of Ames and an employee of the Herbert Arthur architectural firm of Ames, designed 218. When 218 was built, the commercial room at 220 was face lifted to match it, according to Thelma Duff, who supplied much information about these two buildings.

This building is significant for a variety of reasons. First, it is a documented example of a design by a local Ames architect. The building also calls attention to the streamlined style of the late 1930s and 1940s in Ames. Finally, the building and its neighbor to the west relate to the Face Lifts on Main movement in Ames. (The movement clearly was not limited to one street).

## 21. Historical Significance Theme(s) \_\_\_\_\_

- a. Key structure/individually may qualify for the National Register (Ames Contributing)
- b. Contributing structure (Ames Compatible)
- c. Not eligible/intrusion (Ames Non-Contributing)

Western Union was the first occupant (or at least an early one) of this building. This usage calls attention to the growing complexity of commercial life in Ames and 5th Street as a service-related sector of the central business district. This building also housed the "We Shop" for many years. This building is historically significant because it calls attention to the extension of the central business district in Ames into 5th Street during the 1940s.

## 22. Sources (for primary and secondary sources, give complete facts of publication: author, title, place of publication, date, etc)

Prepared by William C. Page, Public Historian Date Fall 1991  
 Address 104 Southwest Fourth Street Des Moines, IA 50309 Telephone 515/280-8026  
 Organization The Dunbar/Jones Partnership

## For Office of Historic Preservation Use Only

### 1. Office Information Sources on this Property

- County Resource File \_\_\_\_\_
- Windshield Survey \_\_\_\_\_
- National Register \_\_\_\_\_
- Grants-in-Aid: \_\_\_\_\_
- Determination of Eligibility \_\_\_\_\_

### Review and Compliance Project:

- Other \_\_\_\_\_
- Other \_\_\_\_\_
- Other \_\_\_\_\_

### 2. Subject Traces

- a. \_\_\_\_\_
- b. \_\_\_\_\_
- c. \_\_\_\_\_
- d. \_\_\_\_\_
- e. \_\_\_\_\_

### 3. Photo Images \_\_\_\_\_

- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_



# Iowa Site Inventory

Bureau of Historic Preservation  
Iowa State Department of Cultural Affairs  
Capitol Complex  
Des Moines, Iowa 50319

Site Number 101  
District Name \_\_\_\_\_  
Map Reference \_\_\_\_\_

## Identification

1. Site Name AMES LAUNDRY BUILDING  
2. Village/Town/City AMES Township WASHINGTON County STORY  
3. Street Address 220 5TH STREET  
4. Legal Location \_\_\_\_\_  
Urban: subdivision block parcel subparcel  
Rural: township range section 1/4 section of 1/4 section  
5. UTM Location: zone \_\_\_\_\_ casting \_\_\_\_\_ northing \_\_\_\_\_ ; Acreage \_\_\_\_\_  
6. Owner(s) Name \_\_\_\_\_  
7. Owner(s) Address \_\_\_\_\_  
(Street address) (City) (State) (Zip)  
8. Use: Present COMMERCIAL Original COMMERCIAL

## Description

9. Date of Construction: FACELIFT C. 1944 Architect/Builder JOE TOWNSEND, ARCHITECT  
10. Building Type  
 single-family dwelling  industrial  other institutional  religious  
 multiple-family dwelling  education  public  agricultural  
 commercial  
11. Exterior walls:  clapboard  stone  brick  board and batten  shingles  stucco  
 other \_\_\_\_\_  
12. Structural System:  wood frame with interlocking joints  wood frame with light members (balloon frame)  
 masonry load-bearing walls  iron frame  steel frame with curtain walls  reinforced concrete  
 other \_\_\_\_\_  
13. Condition:  excellent  good  fair  deteriorated  
14. Integrity:  original site  moved--if so, when? \_\_\_\_\_  
Notes on alterations, additions (with dates and architect, if known) and any other notable features of building and site:  
\_\_\_\_\_(see next page)  
15. Related Outbuildings and Property:  barn  other farm structures  carriage house  garage  privy  
 other \_\_\_\_\_  
16. Is the building endangered:  no  yes--if so, why?  
17. Surroundings of the building:  open land  woodland  scattered outbuildings  densely built-up  commercial  
 industrial  residential  other \_\_\_\_\_

18. Map

19. Photo looking S Photographer Wirth



# Significance

(Indicate sources of information for all statements)

## 20. Architectural Significance

- a. Ames Contributing (Key structure/individually may qualify for the National Register)
- b. Ames Compatible (Contributing structure)
- c. Ames Noncontributing (Not eligible/intrusion)

See continuation sheet.

## 21. Historical Significance Theme(s) \_\_\_\_\_

- a. Key structure/individually may qualify for the National Register (Ames Contributing)
- b. Contributing structure (Ames Compatible)
- c. Not eligible/intrusion (Ames Non-Contributing)

This building is historically significant because it calls attention to the continued extension of the Ames central business district in the 1940s.

## 22. Sources (for primary and secondary sources, give complete facts of publication: author, title, place of publication, date, etc

Thelma Duff has several historic photographs of the complex at 218-220 5th Street. She also has a letter from Albert G. Wing, saying he bought the Ames Laundry in 1898 and that the business had been founded in 1896. The 1900 Sanborn fire insurance map lists this building as "Wing's Model Laundry."

Prepared by William C. Page, Public Historian Date Fall 1991  
 Address 104 Southwest Fourth Street Des Moines, IA 50309 Telephone 515/280-8026  
 Organization The Dunbar/Jones Partnership

## For Office of Historic Preservation Use Only

### 1. Office Information Sources on this Property

- County Resource File \_\_\_\_\_
- Windshield Survey \_\_\_\_\_
- National Register \_\_\_\_\_
- Grants-in-Aid: \_\_\_\_\_
- Determination of Eligibility \_\_\_\_\_

### Review and Compliance Project:

- Other \_\_\_\_\_
- Other \_\_\_\_\_
- Other \_\_\_\_\_

### 2. Subject Traces

- a. \_\_\_\_\_
- b. \_\_\_\_\_
- c. \_\_\_\_\_
- d. \_\_\_\_\_
- e. \_\_\_\_\_

### 3. Photo Images \_\_\_\_\_

- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_

# Iowa Site Inventory

Bureau of Historic Preservation  
Iowa State Department of Cultural Affairs  
Capitol Complex  
Des Moines, Iowa 50319

Site Number 101

## CONTINUATION SHEET

### Significance

#### 20. Architectural Significance

This is a one-story, brick commercial building with an unusually wide facade. The building features a creamy colored brick, a chevron design worked in brick at the top of the building, and another chevron design worked in metal above the front door. The storefront has large windows framed on either side and at the bottom by opaque glass block. The windows themselves are in a combination configuration and made of metal. A neon sign "Ames Laundry" is situated above the storefront. Original to the face lift of this building, the blue-green color of this sign and the style of its lettering conveys further influences of the streamlined architectural style.

1942  
Construction of this building dates prior to 1900 and the building was expanded on the east between 1911 and 1920. This building has, however, been associated with 218 Main Street for half-century. About 1922, Joe Townsend, architect of Ames and employee in Herbert Arthur's Ames architectural firm designed the new building at 218 5th. When it was built, the commercial room at 220 was face lifted to match it, according to Thelma Duff, who supplied much information about these two buildings. Thelma Duff has an historic photograph of the building at 220 before it was face lifted. Joe Townsend later moved to South Dakota. He returned to Ames occasionally and helped Ms. Duff design the home where she presently lives. (This building, adjacent to the Ames city limits, was constructed in 1963).

This building is significant for a variety of reasons. First, it is a documented example of a design by a local Ames architect. The building also calls attention to the streamlined style of the late 1930s and 1940s in Ames. Finally, the building relates to the Face Lifts on Main movement in Ames (and clearly demonstrates the movement was not limited to one street).

# Iowa Site Inventory

Bureau of Historic Preservation  
Iowa State Department of Cultural Affairs  
Capitol Complex  
Des Moines, Iowa 50319

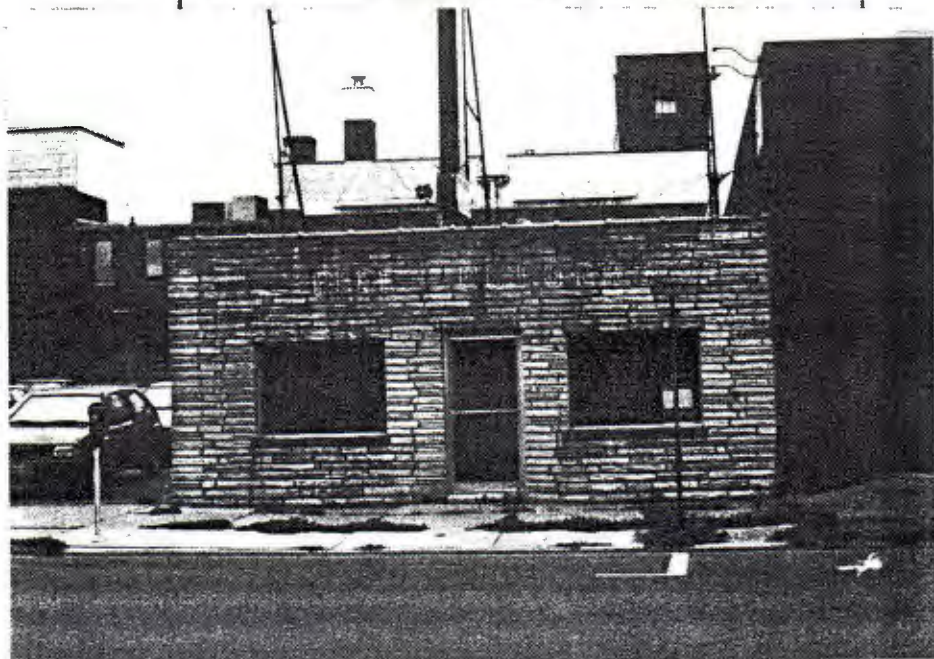
Site Number 102  
District Name \_\_\_\_\_  
Map Reference \_\_\_\_\_

## Identification

1. Site Name COMMERCIAL BUILDING  
2. Village/Town/City AMES Township WASHINGTON County STORY  
3. Street Address 326 5TH STREET  
4. Legal Location \_\_\_\_\_  
Urban: \_\_\_\_\_ subdivision \_\_\_\_\_ block \_\_\_\_\_ parcel \_\_\_\_\_ subparcel \_\_\_\_\_  
Rural: \_\_\_\_\_ township \_\_\_\_\_ range \_\_\_\_\_ section \_\_\_\_\_ 1/4 section of 1/4 section \_\_\_\_\_  
5. UTM Location: zone \_\_\_\_\_ easting \_\_\_\_\_ northing \_\_\_\_\_ ; Acreage \_\_\_\_\_  
6. Owner(s) Name \_\_\_\_\_  
7. Owner(s) Address \_\_\_\_\_  
(Street address) (City) (State) (Zip)  
8. Use: Present COMMERCIAL Original COMMERCIAL

## Description

9. Date of Construction: PRIOR TO 1926\* Architect/Builder \_\_\_\_\_  
10. Building Type  
 single-family dwelling  industrial  other institutional  religious  
 multiple-family dwelling  education  public  agricultural  
 commercial  
11. Exterior walls:  clapboard  stone  brick  board and batten  shingles  stucco  
 other \_\_\_\_\_  
12. Structural System:  wood frame with interlocking joints  wood frame with light members (balloon frame)  
 masonry load-bearing walls  iron frame  steel frame with curtain walls  reinforced concrete  
 other \_\_\_\_\_  
13. Condition:  excellent  good  fair  deteriorated  
14. Integrity:  original site  moved--if so, when? \_\_\_\_\_  
Notes on alterations, additions (with dates and architect, if known) and any other notable features of building and site:  
\_\_\_\_\_(see next page)  
15. Related Outbuildings and Property:  barn  other farm structures  carriage house  garage  privy  
 other \_\_\_\_\_  
16. Is the building endangered:  no  yes--if so, why? \_\_\_\_\_  
17. Surroundings of the building:  open land  woodland  scattered outbuildings  densely built-up  commercial  
 industrial  residential  other \_\_\_\_\_  
18. Map \_\_\_\_\_  
19. Photo looking S Photographer Wirth



# Significance

(Indicate sources of information for all statements)

## 20. Architectural Significance

- a. Ames Contributing (Key structure/individually may qualify for the National Register)
- b. Ames Compatible (Contributing structure)
- c. Ames Noncontributing (Not eligible/intrusion)

This is a one-story commercial building with a one-room wide facade. Although constructed prior to 1926, the facade of this building is now covered with a permastone type material, probably installed in the 1950s. Because of this alteration to the building, it would be an intrusion in an historic commercial district.

## 21. Historical Significance

Theme(s) \_\_\_\_\_

- a. Key structure/individually may qualify for the National Register (Ames Contributing)
- b. Contributing structure (Ames Compatible)
- c. Not eligible/intrusion (Ames Non-Contributing)

Because of the alterations to this building noted above, historical significance does not obtain.

## 22. Sources (for primary and secondary sources, give complete facts of publication: author, title, place of publication, date, etc

\* Sanborn fire insurance map for 1926.

Prepared by William C. Page, Public Historian Date Fall 1991  
 Address 104 Southwest Fourth Street Des Moines, IA 50309 Telephone 515/280-8026  
 Organization The Dunbar/Jones Partnership

## For Office of Historic Preservation Use Only

### 1. Office Information Sources on this Property

- County Resource File \_\_\_\_\_
- Windshield Survey \_\_\_\_\_
- National Register \_\_\_\_\_
- Grants-in-Aid: \_\_\_\_\_
- Determination of Eligibility \_\_\_\_\_

### Review and Compliance Project:

- Other \_\_\_\_\_
- Other \_\_\_\_\_
- Other \_\_\_\_\_

### 2. Subject Traces

- a. \_\_\_\_\_
- b. \_\_\_\_\_
- c. \_\_\_\_\_
- d. \_\_\_\_\_
- e. \_\_\_\_\_

### 3. Photo Images \_\_\_\_\_

- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_

# Iowa Site Inventory

Bureau of Historic Preservation  
Iowa State Department of Cultural Affairs  
Capitol Complex  
Des Moines, Iowa 50319

Site Number 103  
District Name \_\_\_\_\_  
Map Reference \_\_\_\_\_

## Identification

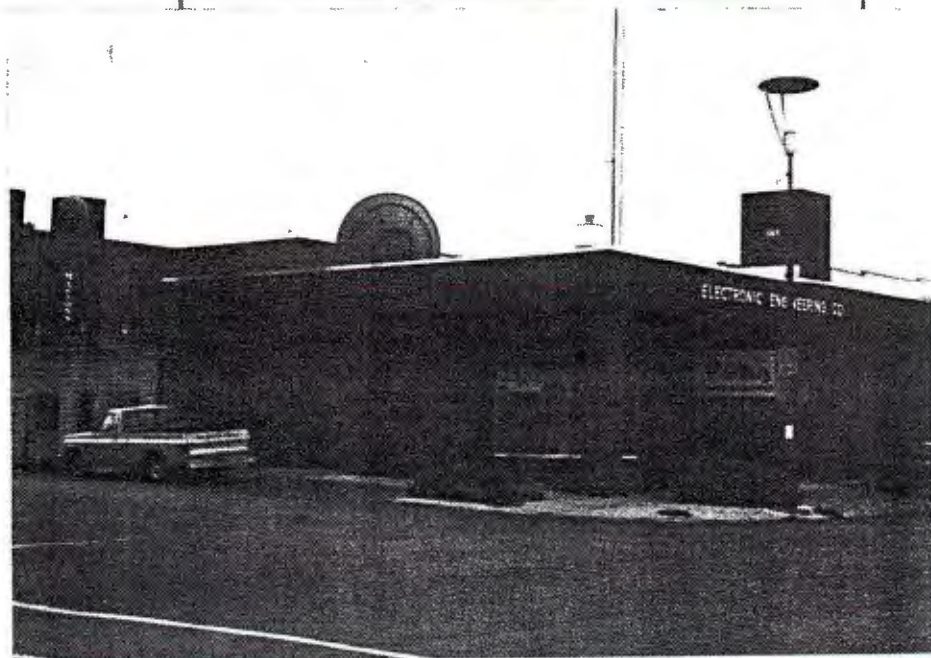
1. Site Name H. L. MINERT GARAGE  
2. Village/Town/City AMES Township WASHINGTON County STORY  
3. Street Address 328-330 5TH STREET  
4. Legal Location  
Urban: \_\_\_\_\_ subdivision \_\_\_\_\_ block \_\_\_\_\_ parcel \_\_\_\_\_ subparcel \_\_\_\_\_  
Rural: \_\_\_\_\_ township \_\_\_\_\_ range \_\_\_\_\_ section \_\_\_\_\_ 1/4 section of 1/4 section \_\_\_\_\_  
5. UTM Location: zone \_\_\_\_\_ easting \_\_\_\_\_ northing \_\_\_\_\_ ; Acreage \_\_\_\_\_  
6. Owner(s) Name \_\_\_\_\_  
7. Owner(s) Address \_\_\_\_\_  
(Street address) (City) (State) (Zip)  
8. Use: Present COMMERCIAL Original COMMERCIAL

## Description

9. Date of Construction: 1926 Architect/Builder \_\_\_\_\_  
10. Building Type  
 single-family dwelling  industrial  other institutional  religious  
 multiple-family dwelling  education  public  agricultural  
 commercial  
11. Exterior walls:  clapboard  stone  brick  board and batten  shingles  stucco  
 other \_\_\_\_\_  
12. Structural System:  wood frame with interlocking joints  wood frame with light members (balloon frame)  
 masonry load-bearing walls  iron frame  steel frame with curtain walls  reinforced concrete  
 other \_\_\_\_\_  
13. Condition:  excellent  good  fair  deteriorated  
14. Integrity:  original site  moved--if so, when? \_\_\_\_\_  
Notes on alterations, additions (with dates and architect, if known) and any other notable features of building and site:  
\_\_\_\_\_(see next page)  
15. Related Outbuildings and Property:  barn  other farm structures  carriage house  garage  privy  
 other \_\_\_\_\_  
16. Is the building endangered:  no  yes--if so, why?  
17. Surroundings of the building:  open land  woodland  scattered outbuildings  densely built-up  commercial  
 industrial  residential  other \_\_\_\_\_

## 18. Map

## 19. Photo looking SE Photographer Wirth



# Significance

(Indicate sources of information for all statements)

## 20. Architectural Significance

- a. Ames Contributing (Key structure/individually may qualify for the National Register)
- b. Ames Compatible (Contributing structure)
- c. Ames Noncontributing (Not eligible/intrusion)

This is a one-story, brick commercial building with a non-conforming width facade. The building features a beveled corner area covered by a roof to provide convenience for filling automobiles with gasoline. Although gas pumps are no longer in place and many of the window and garage door cavities have been infilled, the integrity of this building remains good except for the doors and windows and still is recognizable for its origin function. The building shows the influence of the commercial style of architecture in its restrained simplicity, massing, and the garage door on the north elevation. This building is significant architecturally because it calls attention to a new type of building in the Twentieth Century--the service station.

## 21. Historical Significance

Theme(s) \_\_\_\_\_

- a. Key structure/individually may qualify for the National Register (Ames Contributing)
- b. Contributing structure (Ames Compatible)
- c. Not eligible/intrusion (Ames Non-Contributing)

This corner lot was acquired in 1926 by H. L. Minert for the purposing of erecting a modern building (ADT, February 8, 1926, page 1). The present building must have been erected in that year as well because it is shown in the 1926 Sanborn map. The building housed a filling station and an auto repair shop.

This building is significant because it calls attention to the extension of the Ames central business district into 5th Street during the 1920s. The location of this filling station stands somewhat between the CBD and the northern residential portions of Ames. As such, this location provided a convenience for residents of this section of Ames.

## 22. Sources (for primary and secondary sources, give complete facts of publication: author, title, place of publication, date, )

Prepared by William C. Page, Public Historian Date Fall 1991  
 Address 104 Southwest Fourth Street Des Moines, IA 50309 Telephone 515/280-8026  
 Organization The Dunbar/Jones Partnership

## For Office of Historic Preservation Use Only

### 1. Office Information Sources on this Property

- County Resource File \_\_\_\_\_
- Windshield Survey \_\_\_\_\_
- National Register \_\_\_\_\_
- Grants-in-Aid: \_\_\_\_\_
- Determination of Eligibility \_\_\_\_\_

### Review and Compliance Project

- Other \_\_\_\_\_
- Other \_\_\_\_\_
- Other \_\_\_\_\_

### 2. Subject Traces

- a. \_\_\_\_\_
- b. \_\_\_\_\_
- c. \_\_\_\_\_
- d. \_\_\_\_\_
- e. \_\_\_\_\_

### 3. Photo Images \_\_\_\_\_

- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_

# Iowa Site Inventory

Bureau of Historic Preservation  
Iowa State Department of Cultural Affairs  
Capitol Complex  
Des Moines, Iowa 50319

Site Number 104  
District Name \_\_\_\_\_  
Map Reference \_\_\_\_\_

## Identification

1. Site Name COMMERCIAL BUILDING  
2. Village/Town/City AMES Township WASHINGTON County STORY  
3. Street Address 420-426 5TH STREET  
4. Legal Location  
Urban: \_\_\_\_\_ subdivision \_\_\_\_\_ block \_\_\_\_\_ parcel \_\_\_\_\_ subparcel \_\_\_\_\_  
Rural: \_\_\_\_\_ township \_\_\_\_\_ range \_\_\_\_\_ section \_\_\_\_\_ 1/4 section of 1/4 section \_\_\_\_\_  
5. UTM Location: zone \_\_\_\_\_ easting \_\_\_\_\_ northing \_\_\_\_\_ ; Acreage \_\_\_\_\_  
6. Owner(s) Name \_\_\_\_\_  
7. Owner(s) Address \_\_\_\_\_  
(Street address) (City) (State) (Zip)  
8. Use: Present COMMERCIAL Original COMMERCIAL

## Description

9. Date of Construction: 1965-1980 Architect/Builder \_\_\_\_\_  
10. Building Type  
 single-family dwelling  industrial  other institutional  religious  
 multiple-family dwelling  education  public  agricultural  
 commercial  
11. Exterior walls:  clapboard  stone  brick  board and batten  shingles  stucco  
 other \_\_\_\_\_  
12. Structural System:  wood frame with interlocking joints  wood frame with light members (balloon frame)  
 masonry load-bearing walls  iron frame  steel frame with curtain walls  reinforced concrete  
 other \_\_\_\_\_  
13. Condition:  excellent  good  fair  deteriorated  
14. Integrity:  original site  moved--if so, when? \_\_\_\_\_  
Notes on alterations, additions (with dates and architect, if known) and any other notable features of building and site:  
(see next page)  
15. Related Outbuildings and Property:  barn  other farm structures  carriage house  garage  privy  
 other \_\_\_\_\_  
16. Is the building endangered:  no  yes--if so, why?  
17. Surroundings of the building:  open land  woodland  scattered outbuildings  densely built-up  commercial  
 industrial  residential  other \_\_\_\_\_

18. Map

19. Photo looking S Photographer Wirth





# Significance

(Indicate sources of information for all statements)

## 20. Architectural Significance

- a. Ames Contributing (Key structure/individually may qualify for the National Register)
- b. Ames Compatible (Contributing structure)
- c. Ames Noncontributing (Not eligible/intrusion)

This is a one-story commercial building with a three-commercial room wide facade. It appears to have been built sometime between 1965 and 1980. This building conforms in no way to traditional design in the central business district. It breaks with standard set-back for commercial buildings, an automobile parking lot is located immediately in front of the facade, the brick surface of the building has been painted white. This building would be intrusive in an historic commercial district.

## 21. Historical Significance Theme(s) \_\_\_\_\_

- a. Key structure/individually may qualify for the National Register (Ames Contributing)
- b. Contributing structure (Ames Compatible)
- c. Not eligible/intrusion (Ames Non-Contributing)

This building does not obtain historical significance because of its late date of construction.

## 22. Sources (for primary and secondary sources, give complete facts of publication: author, title, place of publication, date, etc

\* Sanborn fire insurance map for 1926.

Prepared by William C. Page, Public Historian Date Fall 1991  
 Address 104 Southwest Fourth Street Des Moines, IA 50309 Telephone 515/280-8026  
 Organization The Dunbar/Jones Partnership

## For Office of Historic Preservation Use Only

### 1. Office Information Sources on this Property

- County Resource File \_\_\_\_\_
- Windshield Survey \_\_\_\_\_
- National Register \_\_\_\_\_
- Grants-in-Aid: \_\_\_\_\_
- Determination of Eligibility \_\_\_\_\_

### Review and Compliance Project

- Other \_\_\_\_\_
- Other \_\_\_\_\_
- Other \_\_\_\_\_

### 2. Subject Traces

- a. \_\_\_\_\_
- b. \_\_\_\_\_
- c. \_\_\_\_\_
- d. \_\_\_\_\_
- e. \_\_\_\_\_

### 3. Photo Images \_\_\_\_\_

- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_

# Iowa Site Inventory

Bureau of Historic Preservation  
Iowa State Department of Cultural Affairs  
Capitol Complex  
Des Moines, Iowa 50319

Site Number 105  
District Name \_\_\_\_\_  
Map Reference \_\_\_\_\_

## Identification

1. Site Name MOORE BROTHERS DAIRY BUILDING  
2. Village/Town/City AMES Township WASHINGTON County STORY  
3. Street Address 428-432 5TH STREET  
4. Legal Location \_\_\_\_\_  
Urban: subdivision block parcel subparcel  
Rural: township range section 1/4 section of 1/4 section  
5. UTM Location: zone \_\_\_\_\_ easting \_\_\_\_\_ northing \_\_\_\_\_ ; Acreage \_\_\_\_\_  
6. Owner(s) Name \_\_\_\_\_  
7. Owner(s) Address \_\_\_\_\_  
(Street address) (City) (State) (Zip)  
8. Use: Present COMMERCIAL Original COMMERCIAL

## Description

9. Date of Construction: 1937 Architect/Builder TINSLEY, MCBROOM, & HIGGINS  
10. Building Type  
 single-family dwelling  industrial  other institutional  religious  
 multiple-family dwelling  education  public  agricultural  
 commercial  
11. Exterior walls:  clapboard  stone  brick  board and batten  shingles  stucco  
 other \_\_\_\_\_  
12. Structural System:  wood frame with interlocking joints  wood frame with light members (balloon frame)  
 masonry load-bearing walls  iron frame  steel frame with curtain walls  reinforced concrete  
 other \_\_\_\_\_  
13. Condition:  excellent  good  fair  deteriorated  
14. Integrity:  original site  moved--if so, when? \_\_\_\_\_  
Notes on alterations, additions (with dates and architect, if known) and any other notable features of building and site:  
\_\_\_\_\_  
(see next page)  
15. Related Outbuildings and Property:  barn  other farm structures  carriage house  garage  privy  
 other \_\_\_\_\_  
16. Is the building endangered:  no  yes--if so, why? \_\_\_\_\_  
17. Surroundings of the building:  open land  woodland  scattered outbuildings  densely built-up  commercial  
 industrial  residential  other \_\_\_\_\_  
18. Map \_\_\_\_\_ 19. Photo looking SE Photographer Wirth



# Significance

(Indicate sources of information for all statements)

## 20. Architectural Significance

- a. Ames Contributing (Key structure/individually may qualify for the National Register)
- b. Ames Compatible (Contributing structure)
- c. Ames Noncontributing (Not eligible/intrusion)

See continuation sheet.

## 21. Historical Significance Theme(s) \_\_\_\_\_

- a. Key structure/individually may qualify for the National Register (Ames Contributing)
- b. Contributing structure (Ames Compatible)
- c. Not eligible/intrusion (Ames Non-Contributing)

This building calls attention to the growth and further encroachment of the central business district into 5th Street during the 1930s, an indication of a strong local economy in Ames. The 500 block of 5th Street remains zoned residential until following World War II. Ames newspapers indicate that this area was subject to intense public debate at this time to up-zone 5th west of Clark for commercial purposes.

## 22. Sources (for primary and secondary sources, give complete facts of publication: author, title, place of publication, date, etc

\*Building Inspector, City of Ames, files.

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- Windshield Survey \_\_\_\_\_
- National Register \_\_\_\_\_
- Grants-in-Aid: \_\_\_\_\_
- Determination of Eligibility \_\_\_\_\_

### Review and Compliance Project

- Other \_\_\_\_\_
- Other \_\_\_\_\_
- Other \_\_\_\_\_

### 2. Subject Traces

- a. \_\_\_\_\_
- b. \_\_\_\_\_
- c. \_\_\_\_\_
- d. \_\_\_\_\_
- e. \_\_\_\_\_

### 3. Photo Images \_\_\_\_\_

\_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

# Iowa Site Inventory

Bureau of Historic Preservation  
Iowa State Department of Cultural Affairs  
Capitol Complex  
Des Moines, Iowa 50319

Site Number 105

## CONTINUATION SHEET

### Significance

#### 20. Architectural Significance

This is a two-story commercial building with a three-commercial room wide facade. The building features extensive brick detailing. This includes polychrome bands which extend the window lintels of the second story across the entire facade of the building as stringcourses. This conceit relates to stringcourses used in similar ways on the building at 131 Main Street. Three bands worked in brick on the northwest corner wrap around the building and give it something of a streamlined feeling. The building also features metal windows on the second floor, those on the corner also wrapping around the building. A brick pilaster stands outset from the facade approximately one-third distant from the east side of the building and helps define its two separate commercial rooms. Designed by Tinsley, McBroom, and Higgins, architects of Des Moines, this building was constructed by James Thompson and Son.

This building is significant as an outstanding, late example of the commercial style of architecture integrating other eclectic elements into its design.

# Iowa Site Inventory

Bureau of Historic Preservation  
Iowa State Department of Cultural Affairs  
Capitol Complex  
Des Moines, Iowa 50319

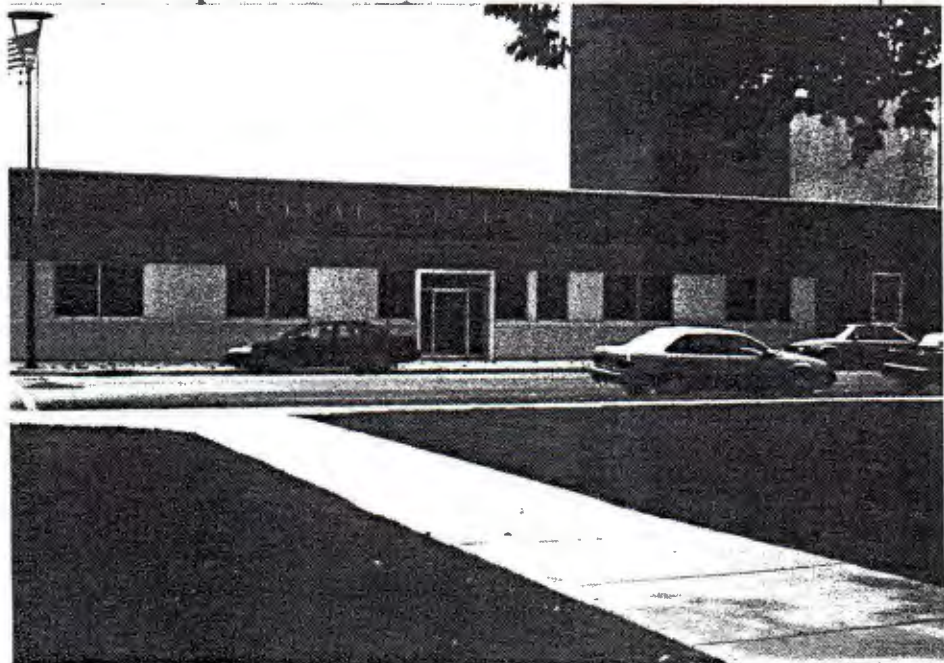
Site Number 106  
District Name \_\_\_\_\_  
Map Reference \_\_\_\_\_

## Identification

1. Site Name COMMERCIAL BUILDING  
2. Village/Town/City AMES Township WASHINGTON County STORY  
3. Street Address 500 5TH STREET  
4. Legal Location  
Urban: \_\_\_\_\_ subdivision \_\_\_\_\_ block \_\_\_\_\_ parcel \_\_\_\_\_ subparcel \_\_\_\_\_  
Rural: \_\_\_\_\_ township \_\_\_\_\_ range \_\_\_\_\_ section \_\_\_\_\_ 1/4 section of 1/4 section \_\_\_\_\_  
5. UTM Location: zone \_\_\_\_\_ easting \_\_\_\_\_ northing \_\_\_\_\_ ; Acreage \_\_\_\_\_  
6. Owner(s) Name \_\_\_\_\_  
7. Owner(s) Address \_\_\_\_\_  
(Street address) (City) (State) (Zip)  
8. Use: Present COMMERCIAL Original COMMERCIAL

## Description

9. Date of Construction: 1950S Architect/Builder \_\_\_\_\_  
10. Building Type  
 single-family dwelling  industrial  other institutional  religious  
 multiple-family dwelling  education  public  agricultural  
 commercial  
11. Exterior walls:  clapboard  stone  brick  board and batten  shingles  stucco  
 other \_\_\_\_\_  
12. Structural System:  wood frame with interlocking joints  wood frame with light members (balloon frame)  
 masonry load-bearing walls  iron frame  steel frame with curtain walls  reinforced concrete  
 other \_\_\_\_\_  
13. Condition:  excellent  good  fair  deteriorated  
14. Integrity:  original site  moved--if so, when? \_\_\_\_\_  
Notes on alterations, additions (with dates and architect, if known) and any other notable features of building and site:  
\_\_\_\_\_(see next page)  
15. Related Outbuildings and Property:  barn  other farm structures  carriage house  garage  privy  
 other \_\_\_\_\_  
16. Is the building endangered:  no  yes--if so, why? \_\_\_\_\_  
17. Surroundings of the building:  open land  woodland  scattered outbuildings  densely built-up  commercial  
 industrial  residential  other \_\_\_\_\_  
18. Map \_\_\_\_\_  
19. Photo looking SE Photographer Wirth



# Significance

(Indicate sources of information for all statements)

## 20. Architectural Significance

- a. Ames Contributing (Key structure/individually may qualify for the National Register)
- b. Ames Compatible (Contributing structure)
- c. Ames Noncontributing (Not eligible/intrusion)

This is a one-story commercial building with a facade non-conforming to standard commercial widths in Ames. The building features mixed materials on the facade including brick and cast concrete. There is also a band which extends the window lintels across the entire facade of the building as stringcourses. This makes a right angle on the west side of the facade. This feature has feeling of streamlined architecture. Although an architect for this building has not yet been identified, it is certainly professionally planned.

This building is significant as an outstanding, late example of architectural design in Ames. More research is necessary to determine its date of construction. For this reason, it is not evaluated at this time. The building could be an "A" resource and its on-going preservation is strongly encouraged.

## 21. Historical Significance

Theme(s) \_\_\_\_\_

- a. Key structure/individually may qualify for the National Register (Ames Contributing)
- b. Contributing structure (Ames Compatible)
- c. Not eligible/intrusion (Ames Non-Contributing)

This building calls attention to the growth and further encroachment of the central business district into 5th Street during the 1940s and the 1950s, an indication of a strong local economy in Ames. The 500 block of 5th Street remained zoned residential until following World War II. Ames newspapers indicate that this area was subject to intense public debate at this time to up-zone 5th west of Clark for commercial purposes. Although 500 5th Street is not evaluated at this time because it post-dates the arbitrary 50-year cut-off period, this building should be reevaluated when its age reaches this mark.

## 22. Sources (for primary and secondary sources, give complete facts of publication: author, title, place of publication, date, etc.)

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## For Office of Historic Preservation Use Only

### 1. Office Information Sources on this Property

- County Resource File \_\_\_\_\_
- Windshield Survey \_\_\_\_\_
- National Register \_\_\_\_\_
- Grants-in-Aid: \_\_\_\_\_
- Determination of Eligibility \_\_\_\_\_

### Review and Compliance Project:

- Other \_\_\_\_\_
- Other \_\_\_\_\_
- Other \_\_\_\_\_

### 2. Subject Traces

- a. \_\_\_\_\_
- b. \_\_\_\_\_
- c. \_\_\_\_\_
- d. \_\_\_\_\_
- e. \_\_\_\_\_

### 3. Photo Images \_\_\_\_\_

- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_