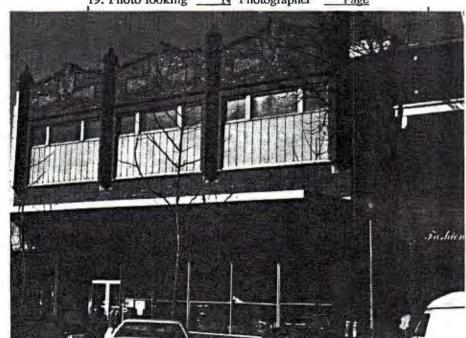
Site Number	040	
District Name		
Man Reference		

1.	Site Name	MAX DUITCH BUIL	DING			
2.	Village/Town/City	AMES	TownshipWASH	HNGTON COL	inty STORY	
3.	Street Address	327 MAIN STREET		ŧ		
	Legal Location					
	Urban: Rural:	subdivision township	block range	parcel section	subparcel 1/4 section of 1/4 section	
6.	Owner(s) Name	easting		; Acreage		
1.	Owner(s) Address	(Street address)	(City)	*	(State)	(Zip)
8.	Use: Present	COMMERCIAL	Original	COMMERCIA	\L	-
De	scription					
10.	Building Type single-family dwelli multiple-family dwe commercial	ing [] industrial elling [] education clapboard [] stone [2]		other institutional public [] shi	agrica	ltural
12.	Structural System: [_]	wood frame with interlocking walls iron frame				
13. 14.	Integrity: [X] original Notes on alterations, ad	ellent [X] good [] f site [] movedif so, when ditions (with dates and archi	n?		tures of building and	site:
15.	Related Outbuildings ar	nd Property: [] barn [other farm structures	carriage hou	se [] garage [] privy
16.		red: [X] no [] yesif so	, why?			-
	Surroundings of the bui	ilding: [] open land [] we [] residential [] ot	oodland Scattered			commercia
18.	Мар		19. Photo loc	oking <u>N</u> Pho	otographer Page	



	ces of information for all statements)			
20. Architectural Significance [] a. Ames Contributing	(Key structure/individually may qualify	for the National R	egister)	
	(Contributing structure)	y 101 life Ivaliental K	egiswa)	
	(Not eligible/intrusion)		şê	
				-
See continuation sheet.				
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			¥	
21. Historical Significance Theme	(s)			
[] a. Key structure/individually may	qualify for the National Register (Ame	es Contributing)	,	
[x] b. Contributing structure (Ames () [] c. Not eligible/intrusion (Ames)	Compatible)			
[]	,			
See continuation sheet.				
Doo continuation shock				
22. Sources (for primary and secondary s	ources, give complete facts of publi	cation: author, titl	le, place of publication, da	ite, etc
* Shrader, Dorothy H.; "History	of Ames Municipal Governme	nt "Typewritte	n	
Ms.; 1965. Iowa Room of the A	mes Public Library.	in, Typewine	41	_
Prepared by William C. Page, Public F	Setorion	Data	Fall 1991	
Address 104 Southwest Fourth Str		Date		
Organization The Dunbar/Jones Partners			515/200-0020	
				7
For Office of Historic Pr	eservation Use Only			
1. Office Information Sources on this Pro	perty [] Review	and Compliance P	roject:	
[] County Resource File	[1 Other			
[] National Register	[] Other			
[] Grants-in-Aid: [] Determination of Eligibility	[] Other_			
[] Determination of Eligibility				
		3. Photo	Images	
2. Subject Traces				
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е.				
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Iowa Site Inventory

Bureau of Historic Preservation Iowa State Department of Cultural Affairs Capitol Complex Des Moines, Iowa 50319

Site Number	040	
DIE LIGHTER	0-10	

CONTINUATION SHEET

Significance

20. Architectural Significance

This is a two-story, brick commercial building. Located on two lots, the facade is physically no wider than its neighbor to the east, 323-325 Main Street, but appears to be because of its design. This design features a three-bay facade, non-conforming to standard bay configurations in Ames where the norm is two- or four-bays. The feeling of non-conformity in 327 is further accentuated by a strongly vertical feeling introduced by architectural details on the second floor.

Second floor contains fairly rich Art Deco elements. These include parapets on either side of the building and two placed so as to define the building as having three bays. These parapets are constructed of brick and terminate in cast concrete caps and base supports. The base supports tie into cast concrete window sills. The windows themselves consist of three panels with the lower sections blocked-in. The areas above the windows feature geometric designs worked in cast concrete, brick, and red glazed tile. The storefront has been totally altered with metal windows and door frames. Each side of the storefront is now faced with deep red colored marble slabs. This same material also is used on the bulkheads. The upper portion of the storefront windows is blocked down, and a fixed metal canopy is placed above them. This building is somewhat higher than most two-story buildings in Ames. The feeling of height is further accented by the strongly vertical treatment of the parapets.

The architectural elements on the second floor divide the facade into three bays. This design breaks with the one-room or two-room facade treatments standard in Ames until this time. In breaking these architectural rules, this building follows a national trend in Art Deco architecture. As Longstreth shows in *The Buildings of Main Street*, the horizontal character of a commercial row can, in Art Deco design, be altered to emphasize units.

This building was constructed by Max Duitch in 1928, according to Shrader. The two lots on this site are shown vacant in the 1926 Sanborn map.

This building might contribute to an historic commercial district as a fine example of the commercial style enriched with Art Deco motifs. If the second story windows were unblocked and original material found to be intact, the appearance of this building would be greatly enhanced and its contributing status strengthened.

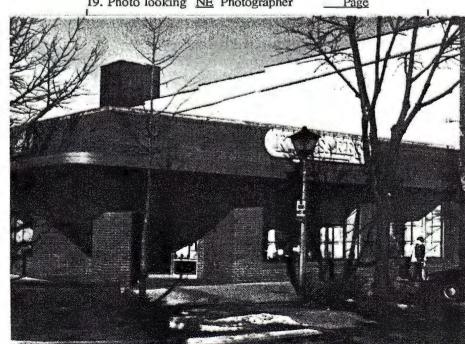
21. Historical Significance	Theme(s)	_

At one time, this building housed the Montgomery Ward company in Ames. As such, the building calls attention to the upbuilding of the central business district in Ames, the fulcrum of which, by the 1920s, had moved westward sufficiently that a national chain store would locate here.

Site Number	041	
District Name		
Map Reference		

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ЩÇ	nuncation						
1.	Site Name	COMMERCIAL BUI	LDING				
	Village/Town/City	AMES		WASH	IINGTON Con	untySTORY	
3.	Street Address	329 MAIN STREET					
4.	Legal Location						
	Urban: Rural:	subdivision township		block range	parcel	Subparcel 1/4 section of 1/4 sec	tion.
		easting			; Acreage _		
	Owner(s) Address						
	,	(Street address)		(City)		(State)	(Zip)
8.	Use: Present	COMMERCIAL		Original	COMMERCIA	AL .	
De	scription						
9.	Date of Construction:		Architect/	Builder			
	Building Type						
	single-family dwelling				ther institutional		igious
	multiple-family dwe	lling [] education			ublic		ricultural
1 1	[X] commercial Exterior walls:	Jonhand [Letona [VI beigle	l hoard and	batten [] sh	ingles [] etc	400
li.	[] other		A) Drick	j board and	batteri si	_	
12.		wood frame with interlocking walls					
13.	Condition: [] excel	lent [X] good []	fair [_	deteriorate	i		
	Integrity: [X] original:	site [] moved-if so, whe	n?				
	Notes on alterations, add	litions (with dates and arch	itect, if knov	vn) and any	other notable fea	atures of building a	nd site:
15.	Related Outbuildings and	d Property: [] barn [other farm	structures	carriage ho	use [] garage	privy
16.	Is the building endangere	ed: [X] no [] yesif so	, why?				
17.	Surroundings of the buil [_] industrial [_	ding: open land w] residential o	oodland [_			densely built-up [X] commercial
18.	Map		19	. Photo loc	king NE Photo	grapher Pa	ige



Site Number	042
District Name	
Man Reference	

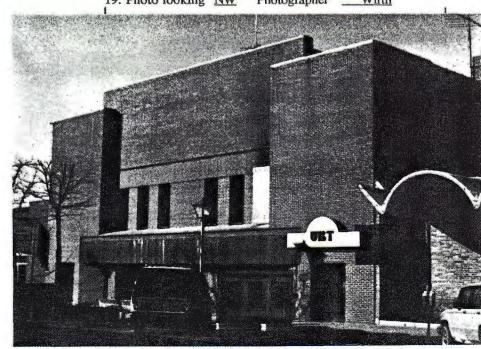
8. Use: Present	1.	Site Name	UNITED BANK & TI	RUST BUI	LDING			
3. Street Address 405 MAIN STREET 4. Legal Location Urban:	2.	Village/Town/City	AMES	Township	WASF	HNGTON Com	nty_STORY	
Urban: Subdivision Block parcel Subparcel JA section of JA section Subparcel JA section of JA section Subparcel JA section of JA section JA section of JA section J			405 MAIN STREET					
Urban: Subdivision Block parcel Subparcel JA section of JA section Subparcel JA section of JA section Subparcel JA section of JA section JA section of JA section J	4.	Legal Location						
6. Owner(s) Name 7. Owner(s) Address (Street address) (City) (State) (Zip) 8. Use: Present COMMERCIAL Original COMMERCIAL Description 9. Date of Construction:1965-1980 Architect/Builder 10. Building Type		Urban:						
6. Owner(s) Name 7. Owner(s) Address (Street address) (City) (State) (Zip) 8. Use: Present COMMERCIAL Original COMMERCIAL Description 9. Date of Construction:1965-1980 Architect/Builder [] Building Type [] single-family dwelling	5	HTM Location: zone	easting	northing		: Acreage		
Street address (City) (State) (Zip)								· · · · · · · · · · · · · · · · · · ·
(Street address) (City) (State) (Zip) 8. Use: Present								
Description 9. Date of Construction: 1965-1980			(Street address)		(City)		(State)	(Zip)
9. Date of Construction:1965-1980	8.	Use: Present	COMMERCIAL	o	riginal	COMMERCIA	L	
Building Type	De	scription	•					
Building Type	9.	Date of Construction:	1965-1980	Architect/Bu	ilder			
single-family dwelling industrial other institutional religious multiple-family dwelling education public agricultural Industrial public agricultural Industrial Industrial public agricultural Industrial								
multiple-family dwelling			ing [] industrial		[]	other institutional	[] religio	ous
X Commercial Exterior walls: clapboard stone brick board and batten shingles stucco other								
[4] other			5 —					
12. Structural System: _ wood frame with interlocking joints _ wood frame with light members (balloon frame) [X] masonry load-bearing walls _ iron frame _ steel frame with curtain walls _ reinforced concrete _ other _ 13. Condition: _ excellent _ [X] good _ fair _ deteriorated 14. Integrity: [X] original site _ movedif so, when? _ Notes on alterations, additions (with dates and architect, if known) and any other notable features of building and site: (see next page) 15. Related Outbuildings and Property: _ barn _ other farm structures _ carriage house _ garage _ privy _ other _ 16. Is the building endangered: [X] no _ yesif so, why? 17. Surroundings of the building: _ open land _ woodland _ scattered outbuildings _ densely built-up [X] common _ industrial _ residential _ other _ other _ 18. Map	11.	Exterior walls:	clapboard [_] stone [brick []	board and	batten [] shi	ngles [] stucco	
[X] masonry load-bearing walls iron frame steel frame with curtain walls reinforced concrete other		[4] other	•					
[] other	12.	Structural System: []	wood frame with interlocking walls	ng joints	wood i	frame with light m	embers (balloon fran	ie)
14. Integrity: [X] original site [] movedif so, when? Notes on alterations, additions (with dates and architect, if known) and any other notable features of building and site:					or traine	with curtain wans		icic
14. Integrity: [X] original site [_] movedif so, when? Notes on alterations, additions (with dates and architect, if known) and any other notable features of building and site:	13.	Condition: [] exce	ellent [X] good [] f	air []	leteriorate	d		
Notes on alterations, additions (with dates and architect, if known) and any other notable features of building and site:		Integrity: [X] original	site [] movedif so, when	n?				
15. Related Outbuildings and Property: _ barn _ other farm structures _ carriage house _ garage _ privy _ other		Notes on alterations, ad	lditions (with dates and archi	tect, if know	n) and any	other notable feat	ures of building and	site:
[_] other	15.			other farm s	structures	[] carriage hou	se [] garage [] privy
17. Surroundings of the building: open land woodland scattered outbuildings densely built-up [X] comme industrial residential other		other	- · ·					- •
[] industrial [] residential [] other	16.	Is the building endanger	red: [X] no [] yes-if so	, why?				
	17.	Surroundings of the bu [] industrial	ilding: open land we residential of		scattered o	outbuildings [] d	ensely built-up [X]	commercia
The second secon	18.	Мар						<u>h</u>



Significance (Indicate sources of information f	or all statements)
20. Architectural Significance [] a. Ames Contributing (Key structure/individual)	dually may qualify for the National Register)
[] a. Ames Contributing (Key structure/individual) [] b. Ames Compatible (Contributing structure)	
[x] c. Ames Noncontributing (Not eligible/intrusion	
Main Street and Burnett Avenue, this building is	Located on the northwest corner of the intersection of non-conforming to typical room organization of most on the facade worked somewhat in rhythm with those of cademized.
This building relates to no other architectural des	ign in the central business district. It is an intrusion in an
**	ŧ
21. Historical Significance Theme(s)	•
[] a. Key structure/individually may qualify for the Natio [] b. Contributing structure (Ames Compatible)	mal Register (Ames Contributing)
[x] c. Not eligible/intrusion (Ames Non-Contributing)	
In the 1930s a restaurant stood on this site illustrated Collegian Theatre.	ated in an historic photograph of the
United Bank and Trust Company is now owned	by Firstar Bank of Minnesota.
Prepared by William C. Page. Public Historian	Date Fall 1991
Address 104 Southwest Fourth Street Des Moines.	IA 50309 Telephone 515/280-8026
Organization The Dunbar/Jones Partnership	
For Office of Historic Preservation U	Jse Only
Office Information Sources on this Property [] County Resource File	[] Review and Compliance Project:
Windshield Survey	[] Other
[] National Register	[] Other
[] Grants-in-Aid: [] Determination of Eligibility	[] Other
[] Determination of Eligibility	
	3. Photo Images
2. Subject Traces	J. Thoro magos
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Site Number	043
District Name	
Man Reference	

LLC	AILLIOULOIL						
1.		COLLEGIAN THEAT	TRE				
2.		AMES	Township_	WASHING	TON Cou	nty <u>STORY</u>	
3.	Street Address	411 MAIN STREET					
4.	Legal Location						
	Urban:	subdivision township	blo	ck ge	parcel section	subparcel 1/4 section of 1/4 sect	ion
		easting			; Acreage		
7.	Owner(s) Address			(0)		(6)	APPER S
		(Street address)		(City)		(State)	(Zip)
8.	Use: Present	COMMERCIAL	Or	iginal COI	MMERCIA	L	
De	escription					•	
9.	Date of Construction:	1937*	_Architect/Bui	ilder WETI	HERELL &	HARRISON,	AIA
	Building Type						
	single-family dwellin			Continue of the Continue of th	institutional		
	multiple-family dwel	ling [] education		[] public	;	agr	icultural
	[X] commercial						
11.	Exterior walls:	lapboard [] stone [7	() brick b	oard and batte	n shir	ngles [] stu	cco
12.	Structural System: [] v	vood frame with interlocki	ng joints [] wood frame	with light m	embers (balloon fi	rame)
	[] other	g walls [] iron frame	stee	i irame with t	cunain waiis	remiorced co	oncrete
12		lent [X] good [_] f	fair [1.4	eteriorated			
		ite [] movedif so, when		JAMES CONTRACT			
	Notes on alterations, add	itions (with dates and archi	itect, if known)	and any othe	r notable feat	tures of building a	nd site:
	(see next	page)					
15.		Property: barn [] other farm st	ructures [_]	carriage hous	se 🔲 garage] privy
	other		1.0				
16.	Is the building endangere	d: [X] no [] yesif so	, why?				
17.	Surroundings of the build	ding: [] open land [] w	oodland [1sc	cattered outbu	ildings []d	lensely built-up	XI commercia
	industrial [,	
18.	Мар		19. F	Photo looking	NW Pho	otographerW	<u>'irth</u>



8	ources of information for al	ll statements)			
20. Architectural Significance	(Key structure/individual)	v may avalify	for the National D	agictor)	
[] a. Ames Contributing [] b. Ames Compatible	(Contributing structure)	y may quamy	tor die National K	egister)	
[x] c. Ames Noncontributing	(Not eligible/intrusion)	*			
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					-
See continuation sheet.					
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			H	•	
21. Historical Significance The	me(s) NA				-
[] a. Key structure/individually m		Register (Ames	Contributing)		
[] b. Contributing structure (Ame [x] c. Not eligible/intrusion (Ame	s Compatible)				
[x] c. Not eligible/intrusion (Ame	s Non-Contributing)			ŧ,	
Joseph V. and Mildred M. Ger	bracht lived at 1900 C	Frand Avenu	ie (now know	n as 619 18th	
Street) on an estate built in the	late 1940s. Mr. Gerb	racht was a	colorful and si	accessful Ames	
entrepreneur and movie theater	r owner. Although no	ne of his the	aters remain to	call attention to	
his career, his home may do so	under National Regis	ster Criterio	n B.		
				•	
				4.5	
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				^	
22. Sources (for primary and secondary	v sources, give complete f	acts of public	ation: author, tit	e, place of publication,	late, etc.
De Double (Lot primity and Dovorium)	, 202202, 82.0 20.0 1			,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,	, , , ,
* Archives of Wetherell-Ericsson A					
architects of Des Moines. Accordin				l many movie	
theater buildings. The plans for the	Collegian Theatre are date	ed January 25,	1937.		
				*	
Prepared by William C. Page, Public	Historian		Date	Fall 1991	
Address 104 Southwest Fourth S	treet Des Moines, IA	50309			
Organization The Dunbar/Jones Partne					
For Office of Historic F	reservation Use	Only			
1. Office Information Sources on this	Property	[] Review at	nd Compliance P	miect:	
[] County Resource File	ropoxty	[] 2.0012011 02	ia compilation i	10,000	
[] Windshield Survey	must-	[] Other			
[] National Register		[] Other			
[] Grants-in-Aid:		[] Other			
[] Grants-in-Aid: [] Determination of Eligibility					
			0 71		
O Colina Tonna				Images	
2. Subject Traces					
a					
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cd.					
c. d. e.					

Iowa Site Inventory

Bureau of Historic Preservation Iowa State Department of Cultural Affairs Capitol Complex Des Moines, Iowa 50319

Cita Mumbar	043
Site Number	U43

CONTINUATION SHEET

Significance

20. Architectural Significance

This is a two-story, brick commercial building originally designed as a movie theater, built in 1937, and façademized in the 1980s to serve as offices for the bank adjacent to the east. The original design was one of (if not the) most exhuberant streamlined architectural designs in Ames. The façade featured architectural details worked in green and other colored glazed tile. The façade also featured a marque lighted with neon. The 1980s alterations placed new brick veneer on the facade and removed many of the architectural details. The east, west, and north walls are constructed of hollow tile block and retain a high degree of integrity. Because the recent façade alterations destroyed so much of the building's integrity, it would be an intrusion in an historic district. The loss of integrity in this building is irreversible—a major loss to Ames. This was one of the finest buildings of its type in Central Iowa.

Design of the building was the work of Wetherell and Harrison, architects of Des Moines. An historic photograph of the building in the collection of the Munn Lumber Company has this information on reverse: "Both sides and rear end, including basement of 17" Farrenwall construction, using twin brick size manufactured by Centerville Clay Products Co., Centerville, Iowa."

Owned by Joseph V.Gerbracht, president of the Ames Theatre Company, this theater featured, on the interior, rich Art Deco details, such as winding stairway to the lounge and balcony, tete-atete lounge chairs, velvet drapes, and mirrors which refracted light. This was a combination theater serving both motion pictures and stage events. You could exit the theater into what is now the bank parking lot.

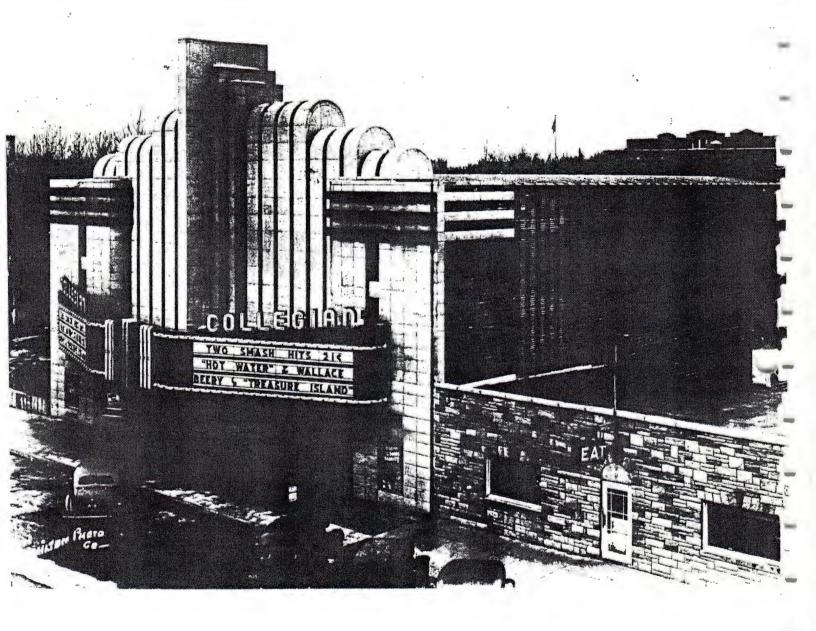
This theater was an important meeting place for the community, and many well remember the building's elaborate architecture. Today the facade exists without a past and evidently no future.

Iowa Site Inventory

Bureau of Historic Preservation
Iowa State Department of Cultural Affairs
Capitol Complex
Des Moines, Iowa 50319

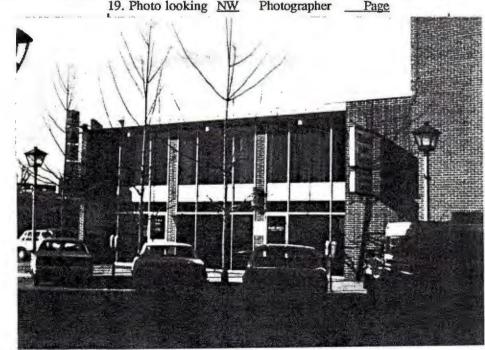
Site	Number	043	

CONTINUATION SHEET



Site Number	044	
District Name		
Man Reference		

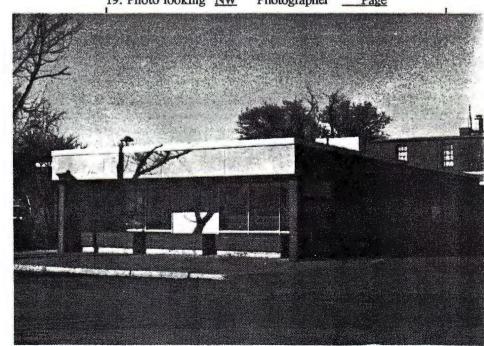
1.	Site Name	COMMERCIAL BUIL	LDING				
2.	Village/Town/City			ASHING	FON Coun	ty STORY	
	Street Address	415 MAIN STREET					
4.	Legal Location						
	Urban: Rural:	subdivision township	block range		parcel section	subparcel 1/4 section of 1/4 section	
6.	Owner(s) Name		northing	i	Acreage		
7.	Owner(s) Address						
		(Street address)	. (City)		(State)	(Zip)
8.	Use: Present	COMMERCIAL	Origi	nal COM	MERCIA)	<u> </u>	
De	scription			,			
9	Date of Construction	1970-1985	Architect/Builde	er.			
	Building Type [] single-family dwelli [] multiple-family dwelli [X] commercial	ing [] industrial			stitutional	relig agric	
11.		clapboard [] stone [7	C] brick [_] boar	rd and batten	[] shin	gles stucc	
12.	Structural System: [] [X] masonry load-beari [] other	wood frame with interlocking walls [] iron frame	ng joints [] v [] steel f	wood frame v rame with cu	vith light me rtain walls	embers (balloon fra	me) crete
13. 14.	Integrity: [X] original	ellent [X] good [] i site [] movedif so, when	n?				
	Notes on alterations, ad	ditions (with dates and architet page)	itect, if known) at	nd any other	notable feati	ires of building and	l site:
15.	Related Outbuildings as	nd Property: [] barn [] other farm struc	ctures [] c	arriage hous	e [] garage	_] privy
16.		red: [X] no [] yesif so	, why?			*	
17.		ilding: open land w residential of	oodland [] scatt		lings [] de	ensely built-up [X	commercia
18.	Мар		19. Pho	oto looking	NW Pho	tographer Pag	<u>e</u>



Significance (Indicate sources of information	for all statements)	
0. Architectural Significance	tor all surements,	
	idually may qualify for the National F	Register)
[] b. Ames Compatible (Contributing struc		4
[x] c. Ames Noncontributing (Not eligible/intrus	sion)	
This is a two-story, brick commercial building. with the one- and two-room facade configuratio commercial buildings in the Ames central businevident in the design of the second floor window. This building appears to be constructed with briftames.	n, which characterizes most of ess district. This non-conform ws. The building has three cor	the historic ance is particularly nmercial rooms.
Constructed in the 1970s or 1980s, this building district.	is an intrusion in an historic c	commercial
1. Historical Significance Theme(s)		:
[] a. Key structure/individually may qualify for the Nat	ional Register (Ames Contributing)	
[] b. Contributing structure (Ames Compatible)	•	
[x] c. Not eligible/intrusion (Ames Non-Contributing)		
		•
Historical significance does not obtain.		
•	•	
22. Sources (for primary and secondary sources, give comp	olete facts of publication: author, tit	de, place of publication, date, etc
22. Sources (for primary and secondary sources, give comp	olete facts of publication: author, tit	tle, place of publication, date, etc
	plete facts of publication: author, tit	tle, place of publication, date, etc
Prepared by William C. Page, Public Historian		
Prepared by William C. Page, Public Historian Address 104 Southwest Fourth Street Des Moine	Date	Fall 1991
Prepared by William C. Page, Public Historian Address 104 Southwest Fourth Street Des Moine Organization The Dunbar/Jones Partnership	Date S. IA 50309 Telephone	Fall 1991
Prepared by William C. Page, Public Historian Address 104 Southwest Fourth Street Des Moine Organization The Dunbar/Jones Partnership For Office of Historic Preservation Office Information Sources on this Property	Date S. IA 50309 Telephone	Fall 1991 515/280-8026
Prepared by William C. Page, Public Historian Address 104 Southwest Fourth Street Des Moine Organization The Dunbar/Jones Partnership For Office of Historic Preservation Office Information Sources on this Property [] County Resource File	Date S. IA 50309 Telephone Use Only [] Review and Compliance I	Fall 1991 515/280-8026 Project:
Prepared by William C. Page, Public Historian Address 104 Southwest Fourth Street Des Moine Organization The Dunbar/Jones Partnership For Office of Historic Preservation Office Information Sources on this Property [] County Resource File [] Windshield Survey [] National Register	Date S. IA 50309 Telephone Use Only [] Review and Compliance F	Fall 1991 515/280-8026 Project:
Prepared by William C. Page, Public Historian Address 104 Southwest Fourth Street Des Moine Organization The Dunbar/Jones Partnership For Office of Historic Preservation 1. Office Information Sources on this Property [] County Resource File [] Windshield Survey [] National Register	Date S. IA 50309 Telephone Use Only [] Review and Compliance I [] Other [] Other	Fall 1991 515/280-8026 Project:
Prepared by William C. Page, Public Historian Address 104 Southwest Fourth Street Des Moine Organization The Dunbar/Jones Partnership For Office of Historic Preservation Office Information Sources on this Property [] County Resource File [] Windshield Survey [] National Register	Date S. IA 50309 Telephone Use Only [] Review and Compliance I [] Other [] Other	Fall 1991 515/280-8026 Project:
Prepared by William C. Page, Public Historian Address 104 Southwest Fourth Street Des Moine Organization The Dunbar/Jones Partnership For Office of Historic Preservation Office Information Sources on this Property [] County Resource File [] Windshield Survey	Date	Fall 1991 515/280-8026 Project:
Prepared by William C. Page, Public Historian	Date	Fall 1991 515/280-8026
Prepared by William C. Page, Public Historian	Date S. IA 50309 Telephone Use Only [] Review and Compliance F [] Other [] Other [] Other [] Other 3. Photo	Fall 1991 515/280-8026 Project:
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Prepared by William C. Page, Public Historian	Date S. IA 50309 Telephone Use Only [] Review and Compliance F [] Other [] Other [] Other 3. Photo	Fall 1991 515/280-8026 Project: Images
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Prepared by William C. Page, Public Historian	Date S. IA 50309 Telephone Use Only [] Review and Compliance I [] Other [] Other [] Other 3. Photo	Fall 1991 515/280-8026 Project: Images

Site Number	045	
District Name_	·	,
Man Reference		

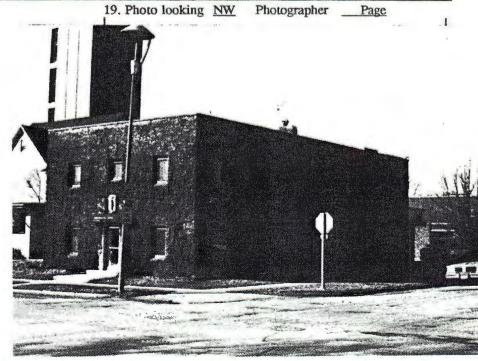
	Site Name	IOWA DEPARTME			
2.	Village/Town/City	AMES	Township WA	ASHINGTON CO	ounty STORY
3.	Street Address	423 MAIN STREET			
4.	Legal Location				
	Urban: Rursi:	subdivision township	n block	parcel	subparcel 1/4 section of 1/4 section
				: Acreage	
6.	Owner(s) Name				
7.	Owner(s) Address	(Street address)	/6		(6)
		(Street address)	(C.	ity)	(State) (Zip)
8.	Use: Present	COMMERCIAL	Origina	I COMMERCI	AL '
De	scription				
9.	Date of Construction:	1970-1985	Architect/Builder		
10.	Building Type [] single-family dwelli [] multiple-family dwelli [X] commercial	ing [] industrial elling [] education clapboard [] stone		other institutiona public	agricultural
12.	Structural System: [_] [X] masonry load-beari [_] other		king joints [] we e [] steel fra	od frame with light me with curtain wall	members (balloon frame) Is reinforced concrete
13	Condition: [Leves	ellent [X] good [_	I fair I deterio	rated	
14.	Integrity: [X] original	site [] movedif so, w	hen?	ALBOAR .	
,		ditions (with dates and an		any other notable fe	catures of building and site:
	Related Outbuildings as	nd Property: [_] barn		res [] carriage ho	ouse [] garage [] privy
16.	Is the building endanger	red: [X] no [] yesif	so, why?		
17.	Surroundings of the bu [] industrial	ilding: [] open land [] _] residential []	woodland [_] scatter other	red outbuildings	densely built-up [X] commercial
18.	Мар		19. Photo	looking <u>NW</u> P	hotographer Page



Significance (Indicate sources of infor 20. Architectural Significance	rmation for all statements)
	re/individually may qualify for the National Register)
[] b. Ames Compatible (Contributin	
[x] c. Ames Noncontributing (Not eligible	e/intrusion)
This is a one story brisk commercial build	ding located on the northeast corner of the intersection
	on-conforming to the standard one- and two room
commercial design historically employed i	in Ames. The building appears to be clad with brick
veneer probably over a stud wall construct material.	tion. The building also employs stucco as a cladding
Constructed in the 1970s or 1980s, this but of the building indicated above is the only	uilding is an intrusion in an historic district. The name name associated with this building.
	i
21. Historical Significance Theme(s) [] a. Key structure/individually may qualify for	the National Pagister (Ames Contributing)
[] a. Key structure/individually may quality for [] b. Contributing structure (Ames Compatible)	the National Register (Annes Conditioning)
[x] c. Not eligible/intrusion (Ames Non-Contrib	
Historical significance does not obtain.	
Alloward Digital Committee Color and Committee	•
22. Sources (for primary and secondary sources, give	e complete facts of publication: author, title, place of publication, date, etc
, , , , , , , , , , , , , , , , , , ,	
Prepared by William C. Page, Public Historian	Date Fall 1991
	Moines, IA 50309 Telephone 515/280-8026
Organization The Dunbar/Jones Partnership	
7 000 0 TT 1 7 7	
For Office of Historic Preservat	ion Use Only
1. Office Information Sources on this Property	[] Review and Compliance Project:
[] County Resource File [] Windshield Survey	[] Other
[] National Register	[] Other
[] Grants-in-Aid:	[] Other
[] Determination of Eligibility	
	3. Photo Images
2. Subject Traces	J. Thoto Images
a	
b	
c	
e	

Site Number	046	
District Name_		
Map Reference		

I.	Site Name	DR, C, B, KERR CH	ROPRACTIC OFF	ICE & KERR	APARTMENTS
2.	Village/Town/City	AMES	Township WASI	HINGTON Con	anty STORY
	Street Address				
4.	Legal Location				
	Urban: Rural:	subdivision township	block range	parcel section	subparcel 1/4 section of 1/4 section
5.	UTM Location: zone	easting	northing	: Acreage	
6.	Owner(s) Name				
7.	Owner(s) Address	(Street address)	(City)		(5,)
		(Street address)	(City)		(State) (Zip)
8.	Use: Present	COMMERCIAL	Original_	COMMERCIA	AL
De	escription				
9.	Date of Construction:	BET, 1936-1940*	Architect/Builder		
	Building Type [_] single-family dwelli			other institutional	
	multiple-family dwe X commercial	elling education		oublic	agricultural
11		clapboard [] stone []	XI brick [] board and	hatten []sh	ingles [] stucco
	other	cumpooute [] storic [/	a) oraca coald and	Ottacki Sii	
12.	[X] masonry load-bearing	wood frame with interlocking walls [] iron frame			
	other		:		
		llent [X] good []		d	
14.	Integrity: [X] original	site [] movedif so, whe	n?		
	Notes on alterations, add	ditions (with dates and arch	itect, if known) and any	other notable fea	atures of building and site:
15.		ad Property: [] barn [other farm structures	[] carriage hor	use [] garage [] privy
	[] other				
16.	Is the building endanger	ed: [X] no [] yes-if so	, why?		
17.	Surroundings of the bui		oodland [] scattered of ther	outbuildings [_]	densely built-up [X] commercial



[] b. Ames Compatible [] c. Ames Noncontributing	(Key structure/individually may qu (Contributing structure) (Not eligible/intrusion)	anily for the National R	egister)
See continuation sheet.			
1. Historical Significance Them			i 1
[x] a. Key structure/individually may [] b. Contributing structure (Ames [] c. Not eligible/intrusion (Ames	y qualify for the National Register (Compatible)	Ames Contributing)	
See continuation sheet.			
22. Sources (for primary and secondary Ames City Directories, 1936 and 194		ublication: author, titl	e, place of publication, date, e
Prepared by William C. Page. Public	Historian	Date	Fall 1991
Address 104 Southwest Fourth St	reet Des Moines, IA 50309	DateTelephone	Fall 1991 515/280-8026
Address 104 Southwest Fourth Stronganization The Dumbar/Jones Partner For Office of Historic Properties of County Resource File [] Windshield Survey [] National Register	reservation Use Only roperty [] Revi	Telephone Telephone Telephone Telephone	515/280-8026
Address 104 Southwest Fourth Stronganization The Dunbar/Jones Partner For Office of Historic Pr Office Information Sources on this Pr [] County Resource File [] Windshield Survey [] National Register [] Grants-in-Aid: [] Determination of Eligibility	reservation Use Only roperty [] Revi	Telephone 7 Telephone 7 Telephone 7 Telephone 7 Telephone 7 Telephone	515/280-8026
Address 104 Southwest Fourth Str. Drganization The Dumbar/Jones Partner For Office of Historic Property of the Property of th	reservation Use Only roperty [] Oth [] Oth	Telephone Telephone Telephone Telephone Telephone Telephone	515/280-8026 roject: images
Address 104 Southwest Fourth Str. Organization The Dumbar/Jones Partner For Office of Historic Property of the County Resource File [] Windshield Survey [] National Register [] Grants-in-Aid: [] Determination of Eligibility	reservation Use Only roperty [] Oth [] Oth	Telephone Telephone Telephone Telephone Telephone Telephone Telephone Telephone	515/280-8026 roject:
Address 104 Southwest Fourth Str. Organization The Dumbar/Jones Partner For Office of Historic Property of the County Resource File [] Windshield Survey [] National Register [] Grants-in-Aid: [] Determination of Eligibility 2. Subject Traces a	reservation Use Only roperty [] Revi	Telephone Telephone Telephone Telephone Telephone Telephone Telephone	515/280-8026 roject: images

Iowa Site Inventory

Bureau of Historic Preservation Iowa State Department of Cultural Affairs Capitol Complex Des Moines, Iowa 50319

Site Number	046

CONTINUATION SHEET

Significance (Indicate sources of information for all statements)
20. Architectural Significance

This is a two-story, brick commercial building located on the northwest corner of the intersection of Main Street and Clark Avenue. Constructed between 1936-1940, this building has a double facade, one facing Main and one facing Clark.

Located on the western edge of the central business district, this building acts as a transition between historic commercial and residential sections of Ames. It is a free-standing building. There are no adjoining commercial rooms next to it. This relates the building to single-family dwellings, which mostly surrounded it originally. The siting of the building further emphasizes its transitional character. The building stands, for example, somewhat setback from the sidewalk with grassy areas in front of both the south and east facades. Although detrimental to the building's mortar joints, the heavy growth of ivy which covers the building is, perhaps, another attempt to blend the building into the residential area. This building was originally designed as a professional office with apartments upstairs.

The first floor features a central entrance flanked by windows. These windows are now blocked up. Second floor facade features small, single paned windows, which give the building a somewhat fortress look. There is a cast concrete decoration of stylized dentils surrounding the building near the top. Cast concrete coping caps this decoration. There is also cast concrete trim around the door entrances. Fixed metal canopies are situated above each of the facade entryways and these appear original to the building. Brick used in this building is multi-colored with orange, red, and brown shades. The surface of the brick is textured in a "pock marked" design. The building is covered by a heavy growth of ivy.

The brick and cast concrete detailing of this building calls attention to a late phase of the commercial style of architecture in Ames with a somewhat streamlined influence. As such, the building may be of key architectural significance in an historic commercial district. Although an architect has not been identified, the building appears to be professionally designed.

21. Historical Significance	Theme(s	
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This is a fine building, which calls attention to the upbuilding of the Ames central business district. Although the Chicago Northwestern Depot stood on the south, this block of Main Street was residential when the Kerr Building was constructed. The building's successful attempt to integrate commercial and residential functions into its design shows careful regard to the feeling of its neighbors, while the mixed use of the building calls attention to the westward extension of commercial activity along Main Street in the 1920s and 1930s.

Cloyce B. Kerr was an Ames chiropractor with offices at 228-1/2 Main Street prior to his relocation to this address. He built this building for his practice and as a real estate investment. Kerr and Charlotte R. Kerr, his wife, resided at 401 Clark Avenue.

Site Number	047	
District Name_		
Map Reference		

1.	Site Name	COMMERCIAL BUI	LDING				
	Village/Town/City_		Township	WASHIN	GTON Com	nty STORY	
3.	Street Address	108 MAIN STREET					
	Legal Location					_	
٠	Urban: Rural:	subdivision township		lock ngo	parcel section	subparcel 1/4 section of 1/4 section	n.
		easting			_; Acreage	1	
	Owner(s) Address						
	ė.	(Street address)		(City)		(State)	(Zip)
8.	Use: Present	COMMERCIAL	c	riginal <u>CO</u>	MMERCIA	L	
De	scription						
9.	Date of Construction:	1980S FACELIFT	Architect/Br	uilder			
	Building Type [] single-family dwelli [] multiple-family dwelli [X] commercial	ng [] industrial	-		r institutional ic	∐ relig ∐ agric	
11.		clapboard [] stone [7	K] brick []	board and batt	en [] shir	ngles [X] stuc	co
12.		wood frame with interlocking walls [] iron frame					
13.	Condition: []exce	ellent [X] good []	air []	leteriorated			
14.	Integrity: [X] original	site [] movedif so, whe	n?				
	Notes on alterations, ad	ditions (with dates and archi	tect, if known	n) and any oth	er notable feat	ures of building an	d site:
15.		nd Property: [] barn [other farm s	structures [] carriage hous	se [] garage	privy
16.	Is the building endanger	ed: [X] no [] yes-if so	, why?				100000000000000000000000000000000000000
17.	Surroundings of the bui	ilding: [] open land [] w _] residential [] of		scattered outbo	nildings [] d	ensely built-up [X] commercial
18.	Man		19	Photo lookin	g S Pho	tographer Wi	rth



	ormation for all statements)			
20. Architectural Significance [] a. Ames Contributing (Key struct	ure/individually may qualify	for the National I	(egister)	
[] b. Ames Compatible (Contributi	ing structure) ble/intrusion)			
				-
This is a one-story, brick commercial bui				
facade is narrower than most one-room fa 122 Main Street because they presently sl				
the upper area of the storefronts all now of	clad with stucco and pa	inted white. T		
buildings have recently been altered to pr	ovide secondary facad	es.		
Because of alterations to the storefront, the commercial district.	nis building is evaluate	d as an intrusio	on in an historic	
21. Historical Significance Theme(s)				
	ture/individually may qualifying structure)	for the National I	Register)	
	ole/intrusion)			
To 1011 this less was a second consuling as a	he Carban English		******	
In 1911 this lot was vacant according to the Historical significance is not claimed for		nce map for in	at year.	
22. Sources (for primary and secondary sources, given	ve complete facts of public	cation: author, tit	le, place of publication, da	ite, etc
				-
Prepared by William C. Page, Public Historian		Date	Fall 1991	
	Moines, IA 50309	Telephone	515/280-8026	
Organization The Dunbar/Jones Partnership				
For Office of Historic Preserva	tion Hee Only			
For Office of Historic Freserva	non Use Only			
Office Information Sources on this Property County Resource File	[] Review a	and Compliance P	roject	
[] County Resource File	[] Other			
National Register	[] Other			
[] Grants-in-Aid:	[] Other			·
		3 Photo	Images	
2. Subject Traces		J. 11000	ımag	
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b				
c				
de.				
V		· · · · · · · · · · · · · · · · · · ·		
	4			

Site Number	048	
District Name	5	
Man Reference		

1	Site Name	COMMERCIAL BUIL					
	Village/Town/City		Township	WASHING	JTON Cou	nty STORY	
3.	Street Address	110 MAIN STREET					
4.	Legal Location						*
	Urban: Rural:	subdivision township	bloc		parcel section	subparcel 1/4 section of 1/4 section	M
		easting			; Acreage		
	Owner(s) Address			-			
		(Street address)		(City)		(State)	(Zîp)
8.	Use: Present	COMMERCIAL	Ori	ginal CO!	MMERCIA	L ;	
De	scription						
	Date of Construction: _ Building Type [_] single-family dwelli [_] multiple-family dwelli		Architect/Buil		institutional		gious cultural
	[X] commercial	ming euikauon			•	ा बहार	Cuiunai
11.		clapboard [] stone []	g brick [] bo	ard and batter	n [] shi	ngles [X] stud	CCO .
12.		wood frame with interlocking walls iron frame					
13.	Condition: [] exce	ellent [X] good [] f	air []de	teriorated			
		site moved-if so, when					
	Notes on alterations, ad	ditions (with dates and architt page)	tect, if known)	•			d site:
	other	nd Property: [] barn [uctures []	carriage hou	se [] garage	☐ privy
16.	Is the building endanger	red: [X] no [] yesif so,	, why?				
17.		ilding: [] open land [] we	oodland [] sca		ildings [] d	lensely built-up [2	() commercia
18.	Map		19. PI	noto looking	S Pho	otographer Wi	rth



0	of information for all statements)
[] b. Ames Compatible (Co	cy structure/individually may qualify for the National Register) intributing structure) of eligible/intrusion)
associated with 108 and 116-122 M particularly evident in the upper are	ial building with a one-room wide facade. This building is fain Street because they presently share a common design a of the storefronts which are all now clad with stucco and somewhat wider facade than the others. The rear of these is to provide secondary facades.
Because of alterations to the storefre commercial district.	ont, this building is evaluated as an intrusion in an historic
[] b. Ames Compatible (Co	ey structure/individually may qualify for the National Register) intributing structure) of eligible/intrusion)
Historical significance is not claime	ed for this building.
	rces, give complete facts of publication: author, title, place of publication, date, etc
Prepared by William C. Page, Public Hist	
Address 104 Southwest Fourth Street Organization The Dunbar/Jones Partnership	
For Office of Historic Pres 1. Office Information Sources on this Prope [] County Resource File [] Windshield Survey [] National Register [] Grants-in-Aid: [] Determination of Eligibility	ervation Use Only
2. Subject Traces	3. Photo Images
a	
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a contract of the contract of	•

Site Number_	049	
District Name		
Man Reference		

		and the second second second					
	Site Name	COMMERCIAL BUIL	LDING				
2.	Village/Town/City	AMES	Township	WASHIN	GTON Cou	nty STORY	
3.	Street Address	116 MAIN STREET		•			
4.	Legal Location						
	Urban: Rural:	subdivision township		lock nge	parcel section	subparcel 1/4 section of 1/4 section	q
		easting			_; Acreage		
7.	Owner(s) Address						
		(Street address)	4	(City)		(State)	(Zip)
8.	Use: Present	COMMERCIAL	c	Original CC	MMERCIA	L ·	
De:	scription						
	_	1980S FACELIFT	Architect/B	uilder		· · · · · · · · · · · · · · · · · · ·	
.0.		ing [] industrial elling [] education			r institutional ic	☐ relig ☐ agric	
11.		clapboard [] stone [] brick [_]	board and batt	ten [] shi	ngles [X] stuc	co
12.	[X] masonry load-bearing	wood frame with interlocking walls [] iron frame					
		ellent [X] good [] f site [] movedif so, when		deteriorated			
17.	Notes on alterations, ad	ditions (with dates and archi	tect, if know	n) and any oth	ner notable feat	tures of building an	d site:
15.		nd Property: [] barn [other farm:	structures [_] carriage hou	se 🔲 garage	privy
16.		ed: [X] no [] yesif so	, why?				· · · · · · · · · · · · · · · · · · ·
. ~	C	14 []			11.31 F 7.1	1 1. ¹ 1	,
17.	industrial	ilding:open landwe residentialot				lensely built-up [X	J commercia
18.	Мар		19.	Photo lookin	g S Pho	otographer Wi	<u>rth</u>



	ay qualify for the National Register)
This is a one-story, brick commercial building with a or facade is narrower than most one-room facades in Ames 110 and 118-122 Main Street because they presently sh in the upper area of the storefronts which are all now claroom at 116 Main features a simple storefront with the to the facade. The rear of these buildings have recently facades.	s. This building is associated with 108- are a common design particularly evident ad with stucco and painted white. The windows and door placed slightly oblique
Because of alterations to the storefront, this building is commercial district.	evaluated as an intrusion in an historic
**	1
-	ŧ
21. Historical Significance Theme(s)	1
[] a. Ames Contributing (Key structure/individually m [] b. Ames Compatible (Contributing structure)	ay qualify for the National Register)
[x] c. Ames Noncontributing (Not eligible/intrusion)	
Sometime between 1920 and 1926, the stores at 114 and fire insurance maps, to have been opened up into one up. Because of the substantial alterations to the exterior of the does not obtain.	nit.
repared by William C. Page, Public Historian	Date Fall 1991
repared by William C. Page, Public Historian Address 104 Southwest Fourth Street Des Moines, IA 50	Date Fall 1991
Prepared by William C. Page, Public Historian Address 104 Southwest Fourth Street Des Moines, IA 507 Organization The Dunbar/Jones Partnership For Office of Historic Preservation Use C. Office Information Sources on this Property [] County Resource File [] Windshield Survey [] [] National Register [] [] Grants-in-Aid:	Date Fall 1991 309 Telephone 515/280-8026 Only Review and Compliance Project: Other Other Other
Prepared by William C. Page. Public Historian	Date Fall 1991 309 Telephone 515/280-8026 Only Review and Compliance Project: Other
Prepared by William C. Page, Public Historian	Date Fall 1991 309 Telephone 515/280-8026 Only Review and Compliance Project: Other Other Other Other
Prepared byWilliam C. Page. Public Historian	Date Fall 1991 309 Telephone 515/280-8026 Only Review and Compliance Project: Other Other Other Other 3. Photo Images
Prepared byWilliam C. Page. Public Historian	Date Fall 1991 309 Telephone 515/280-8026 Only Review and Compliance Project: Other Other Other 3. Photo Images
For Office of Historic Preservation Use Companization 1. Office Information Sources on this Property [] County Resource File [] Windshield Survey [] National Register [] Grants-in-Aid: [] Determination of Eligibility 2. Subject Traces a	Date Fall 1991 309 Telephone 515/280-8026 Only Review and Compliance Project: Other Other Other Other 3. Photo Images

Significance

Iowa Site Inventory

Bureau of Historic Preservation Iowa State Department of Cultural Affairs Capitol Complex Des Moines, Iowa 50319

Site Number	050	
District Name	* -	
Map Reference		

1.	Site Name	COMMERCIAL BUIL	LDING			
2.	Village/Town/City	AMES	Township_WAS	SHINGTON Cou	inty STORY	
	Street Address	118 MAIN STREET				
4.	Legal Location	Equation where a first				-
	Urban: Rural:	subdivision township	block range	parcel section	subparcel 1/4 section of 1/4 section	
5.	UTM Location: zone	easting	northing	: Acreage		
	Owner(s) Address					
		(Street address)	(City	()	(State)	(Zip)
8.	Use: Present	COMMERCIAL	Original_	COMMERCIA	L .	
De	scription					
9	Date of Construction:	1980S FACELIFT	Architect/Builder			
	Building Type [] single-family dwelli [] multiple-family dwe [X] commercial	ng [] industrial] other institutional] public	∐ religi ∐ agricu	
11.	Exterior walls: [] other	clapboard [] stone []	Brick board ar	nd batten [] shi	ingles [X] stucc	0
12.		wood frame with interlocking walls [] iron frame			nembers (balloon fran	
13	Condition: [] exce	llent [X] good [] f	fair [] deterior	nted		
14.	Integrity: [X] original	site [_] movedif so, when ditions (with dates and archi	n?		tures of building and	site:
15.		nd Property: [] barn [other farm structure	es [] carriage hou	ise [] garage [] privy
16.	Is the building endanger	ed: [X] no [] yesif so,	, why?			
17.	Surroundings of the bui	lding: [] open land [] we _] residential [] ot		d outbuildings [_]	densely built-up [X]	commercial
18.	Мар		19. Photo	looking <u>S</u> Pho	otographer Wirt	<u>h</u> .



Significance (Indicate sources of information fo	or all statements)	
20. Architectural Significance	fulls and malify for the National Besisters	
[] a. Ames Contributing (Key structure/individual) [] b. Ames Compatible (Contributing structure)	tually may qualify for the National Register)	
[x] c. Ames Noncontributing (Not eligible/intrusion		
This is a one-story, brick commercial building wit facade is narrower than most one-room facades in 116 and 120-122 Main Street because they present in the upper area of the storefronts which are all no room at 118 Main features a simple storefront with to the facade. The rear of these buildings have rec facades.	Ames. This building is associated with 108- itly share a common design particularly evident low clad with stucco and painted white. The the the windows and door placed slightly oblique	0
Because of alterations to the storefront, this buildi	ing is evaluated as an intrusion in an historic	
commercial district.		
18.3		
21. Historical Significance Theme(s)		
	hally may qualify for the National Register)	
[] b. Ames Compatible (Contributing structur [x] c. Ames Noncontributing (Not eligible/intrusion		
	· ,	
Although buildings conforming to the footprint of early Twentieth Century, the recent alterations to thistorical significance.		
		J
Prepared by William C. Page. Public Historian	Date Fall 1991	
Address 104 Southwest Fourth Street Des Moines.	IA 50309 Telephone 515/280-8026	
Organization The Dunbar/Jones Partnership		
For Office of Historic Preservation U 1. Office Information Sources on this Property [] County Resource File	Se Only [] Review and Compliance Project:	
[] Windshield Survey	[] Other	
[] National Register	[] Other	
[] Grants-in-Aid: [] Determination of Eligibility	[] Other	•
[] Determination of Engiotiity		
2. Subject Traces	3. Photo Images	
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Site Number	051
District Name	
Man Reference	

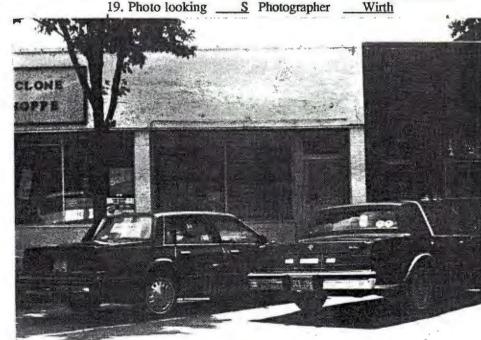
1.	Site Name	COMMERCIAL BUT	LDING				
2.	Village/Town/City	AMES	Township	WASHING	TON Coun	ty STORY	
3.	Street Address	120 MAIN STREET			• 1		
4.	Legal Location						
	Urban: Rural:	subdivision township	blo		parcel section	subparcel 1/4 section of 1/4 section	on.
		easting		**************************************	Acreage		
7.	Owner(s) Address						
		(Street address)		(City)		(State)	(Zip)
8.	Use: Present	COMMERCIAL	Ori	iginal COM	IMERCIAI	-	
De	scription						
	Date of Construction: Building Type [] single-family dwelling	FACELIFT 1980S	_Architect/Buil		nstitutional	[] reli	nione
	multiple-family dwell [X] commercial			public	ISHIMIMA		cultural
11.		clapboard [] stone []] brick bo	pard and batten	shin	gles [X] stud	cco
12.		wood frame with interlocking walls [] iron frame					
		ellent [X] good [] is site [] movedif so, whe		teriorated			
	Notes on alterations, ad	ditions (with dates and archi	itect, if known)	and any other	notable feat	res of building an	d site:
	Related Outbuildings an	nd Property: [] barn [uctures []	carriage house	e [] garage	privy
16.	Is the building endanger	red: [X] no [_] yesif so	, why?				
17.		ilding: [] open land [] w _] residential [] of		attered outbuil	dings [_] de	nsely built-up [X	Commercia
18.	Man		19 P	hoto looking	S Phot	ographer Wi	rth



Significance (Indicate sources of information for	all statements)
20. Architectural Significance [] a. Ames Contributing (Key structure/individua	lly may qualify for the National Register)
[] b. Ames Compatible (Contributing structure)	
[x] c. Ames Noncontributing (Not eligible/intrusion)	
This is a one-story, brick commercial building with facade is narrower than most one-room facades in A 118 and 122 Main Street because they presently sha the upper area of the storefronts which are all now croom at 120 Main features a simple storefront with to the facade. The rear of these buildings have recentaged.	Ames. This building is associated with 108- re a common design particularly evident in clad with stucco and painted white. The the windows and door placed slightly oblique
Because of alterations to the storefront, this building commercial district.	g is evaluated as an intrusion in an historic
	•
•	•
21. Historical Significance Theme(s) (Key structure/individus	lly may qualify for the National Register)
[] b. Ames Compatible (Contributing structure)	if may qualif for use reasons regimes,
[x] c. Ames Noncontributing (Not eligible/intrusion)	
Although buildings conforming to the footprint of the	nic building have been in place since the
early Twentieth Century, the recent alterations to thi	
historical significance.	s ounding procedure any claim for
instolled significance.	
22. Sources (for primary and secondary sources, give complete	facts of publication: author, title, place of publication, date,
Prepared by William C. Page, Public Historian	Date Fall 1991
	50309 Telephone 515/280-8026
Organization The Dunbar/Jones Partnership	1 Stophone 2 State Over
For Office of Historic Preservation Use	Only
	•
1. Office Information Sources on this Property	[] Review and Compliance Project:
[] County Resource File	
[] Windshield Survey	[] Other
[] National Register	[] Other
[] Grants-in-Aid: [] Determination of Eligibility	[] Outer
.,	
O. California	3. Photo Images
2. Subject Traces	
a	
b	
c	
d	
e	
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Site Number	052	
District Name_		
Man Reference		

1.	Site Name	COMMERCIAL BUIL	LDING			
	Village/Town/City		Township WAS	HINGTON COL	inty STORY	
3.	Street Address	122 MAIN STREET				
	Legal Location				,	
	Urban: Rural:	subdivision township	block	parcel section	subparcel 1/4 section of 1/4 section	1
5.	UTM Location: zone	easting	northing	; Acreage		
6.	Owner(s) Name	<u> </u>				
7.	Owner(s) Address					
		(Street address)	(City))	(State)	(Zip)
8.	Use: Present	COMMERCIAL	Original_	COMMERCIA	AL .	
De	scription					
9.	Date of Construction:	FACELIFT 1980S	Architect/Builder	P		
	Building Type [] single-family dwelli [] multiple-family dwelli [X] commercial	ng [] industrial		other institutional public	[] religi	
11.	Exterior walls: [] other		IJ brick ☐ board and	d batten [] sh	ingles [X] stuce	20
12.		wood frame with interlocking walls [] iron frame			nembers (balloon fra reinforced con	
13	Condition: [] avec	ellent [X] good [_]	fair [] deteriorat	had		
	Integrity: [X] original	site [] moved—if so, whe ditions (with dates and arch	n?		atures of building and	l site:
	(see nex					
	[] other	nd Property: [] barn [s [] carriage hou	use [] garage [_] privy
16.	Is the building endanger	red: [X] no [] yesif so	, why?			
17.		ilding: [] open land [] w _] residential [] or	oodland [_] scattered	outbuildings []	densely built-up [X	commercial
18.	Мар		19. Photo lo	ooking <u>S</u> Ph	otographer Wir	th

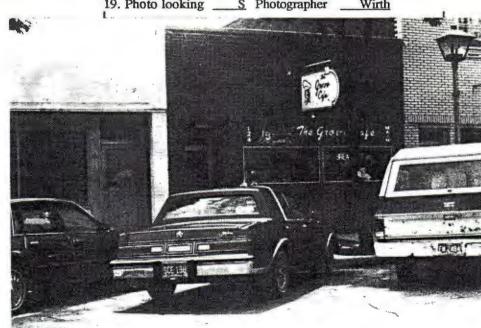


Significance (Indicate sources of information for	all statements)			
20. Architectural Significance				
[] a. Ames Contributing (Key structure/individual) [] b. Ames Compatible (Contributing structure)		for the National R	egister)	
[x] c. Ames Noncontributing (Not eligible/intrusion)				*
[A] b. ratio Normalianting (1700 englose) measures.	,			
This is a one-story, brick commercial building with	a one-room	wide facade. 7	The width of the	
facade is narrower than most one-room facades in	Ames. This b	ouilding is asso	ciated with 108-	-
120 Main Street because they presently share a com-	imon design p	particularly evi	dent in the upper	
area of the storefronts which are all now clad with	stucco and pa	inted white. T	he room at 122	
Main features a simple storefront with the windows				
facade. The rear of these buildings have recently b	een altered to	provide secon	dary facades.	
Because of alterations to the storefront, this buildin commercial district.	g is evaluated	l as an intrusion	n in an historic	
			â	
21. Historical Significance Theme(s)	12 110	f 1 M 3 1 B		
[] a. Ames Contributing (Key structure/individual) [] b. Ames Compatible (Contributing structure)		for the National K	egister)	
[x] c. Ames Companie (Contributing structure [x] c. Ames Noncontributing (Not eligible/intrusion				
Although buildings conforming to the footprint of t	his building h	ave been in pla	ace since the	
early Twentieth Century, the recent alterations to the	is building pr	eclude any clai	m for	
historical significance.				
22. Sources (for primary and secondary sources, give complete	facts of publics	ation: author titl	e place of publication	date etc
22. Sources (for primary and secondary sources, give complete	ruces or public	anon, admor, an	o, place of particularity,	uzio, cio
•				
			- 24.9	
Prepared by William C. Page, Public Historian		Date	Fall 1991	
Prepared by William C. Page, Public Historian Address 104 Southwest Fourth Street Des Moines, Le	A 50309	DateTelephone	Fall 1991 515/280-8026	
	A 50309			
Address 104 Southwest Fourth Street Des Moines, Le Organization The Dunbar/Jones Partnership				
Address 104 Southwest Fourth Street Des Moines, L				
Address 104 Southwest Fourth Street Des Moines, Le Organization The Dunbar/Jones Partnership For Office of Historic Preservation Us	e Only	Telephone	515/280-8026	
Address 104 Southwest Fourth Street Des Moines, Le Organization The Dunbar/Jones Partnership For Office of Historic Preservation Us 1. Office Information Sources on this Property	e Only		515/280-8026	
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Address 104 Southwest Fourth Street Des Moines, Le Organization The Dunbar/Jones Partnership For Office of Historic Preservation Us 1. Office Information Sources on this Property [] County Resource File [] Windshield Survey [] National Register [] Grants-in-Aid: [] Determination of Eligibility 2. Subject Traces a. b. c. d.	e Only [] Review as [] Other [] Other [] Other	nd Compliance P	515/280-8026 roject: [mages	
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Site Number	053	
District Name_		
Man Reference		

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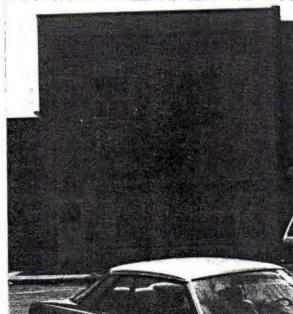
1.	Site Name	COMMERCIAL BUIL	LDING		
	Village/Town/City	AMES	Township WAS	HINGTON Cour	nty STORY
	Street Address	124 MAIN STREET			
	Legal Location		•		
	Urban: Rural:	subdivision township	block range	parcel section	subparcel 1/4 section of 1/4 section
5.	UTM Location: zone	easting	northing	; Acreage	
	Owner(s) Name				-
7.	Owner(s) Address				
	•	(Street address)	(City)		(State) (Zip)
8.	Use: Present	COMMERCIAL	Original_	COMMERCIA	L ·
De	scription				
9.	Date of Construction:	FACELIFT 1955-1970	_Architect/Builder		
	Building Type				
	single-family dwelling multiple-family dwe			other institutional public	[_] religious [_] agricultural
11.		clapboard [] stone [2	Clbrick [] board and	1 batten [] ship	ngles [] stucco
	other				
12.		wood frame with interlocking walls [] iron frame			embers (balloon frame) [_] reinforced concrete
13.	Condition:	llent [X] good []	air [] deteriorat	ed	
14.	Integrity: [X] original	site [] movedif so, when	n?	~~	
		ditions (with dates and archi		y other notable feat	ures of building and site:
	other	d Property: [] barn [carriage hous	se [] garage [] privy
16.	Is the building endanger	ed: [X] no [] yes-if so	, why?		
			oodland [] scattered her		ensely built-up [X] commercial
18.	Мар	1	19. Photo lo	ooking S Pho	tographer Wirth



Significance (Indicate sources of information for a	ll statements)
20. Architectural Significance [] a. Ames Contributing (Key structure/individual)	ly may qualify for the National Register)
[] b. Ames Compatible (Contributing structure)	y may quanty for the ivational register)
[x] c. Ames Noncontributing (Not eligible/intrusion)	•
em	11. 6 - 1. 175 - 116 - 6.1
This is a one-story, brick commercial building with a facade is narrower than most one-room facades in A	
Street, its commercial neighbors to the east. The fact	
a face lift in the late 1950s or 1960s. Brick employe	
color. The building has a cast concrete coping. Stor	refront windows are partially infilled. The
entryway is inset into the facade on the east with a tr	ansom over the door.
villy villy is also also also say and also will also	
Because of alterations to the storefront, this building commercial district.	is evaluated as an intrusion in an historic
и	
	1
21. Historical Significance Theme(s)	
[] a. Ames Contributing (Key structure/individual)	ly may qualify for the National Register)
[] b. Ames Compatible (Contributing structure) [x] c. Ames Noncontributing (Not eligible/intrusion)	
[X] C. Aines Noncontituting (Not engine) middison)	
Although buildings conforming to the footprint of the	is building have been in place since the
early Twentieth Century, the recent alterations to this	s building preclude any claim for
historical significance.	
22. Sources (for primary and secondary sources, give complete f	acts of publication: author, title, place of publication, date, etc.
	· · · · · · · · · · · · · · · · · · ·
	·
	-
Prepared by William C. Page. Public Historian	Date Fall 1991
Address 104 Southwest Fourth Street Des Moines, IA	50309 Telephone 515/280-8026
Organization The Dunbar/Jones Partnership	
E Office of Wiston's Decomption Has	0-1-
For Office of Historic Preservation Use	Only
1. Office Information Sources on this Property	[] Review and Compliance Project:
[] County Resource File	[] Noview and Comprisined Project
[] Windshield Survey	[] Other
National Register	[] Other
[] Grants-in-Aid: [] Determination of Eligibility	[] Other
[] Determination of Eligibility	
	3. Photo Images
2. Subject Traces	
a	
b	
c. d	
e	

Site Number	054	
District Name		
Man Reference		

1.	Site Name	COMMERCIAL BUI	LDING		and the second s
2.	Village/Town/City	AMES	Township_WAS	HINGTON Cou	inty STORY
	Street Address		•		
4.	Legal Location		to the second of		
	Urban: Rural:	subdivision township	block	parcel section	subparcel 1/4 section
5.	UTM Location: zone	easting	northing	; Acreage	
7.	Owner(s) Address				<u>.</u>
		(Street address)	(City)		(State) (Zip)
8.	Use: Present	COMMERCIAL	Original_	COMMERCIA	L .
De	scription				
Q.	Date of Construction:	FACELIFT 1950S	Architect/Builder		
	Building Type [] single-family dwelli [] multiple-family dwelli [X] commercial	ing [] industrial		other institutional public	[] religious [] agricultural
11.		clapboard [] stone	X] brick [] board and	d batten [] shi	ingles [] stucco
12.		wood frame with interlocking walls [] iron frame			
	Integrity: [X] original	ellent [X] good [] site [] movedif so, whe ditions (with dates and arch	n?		tures of building and site:
15.		nd Property: [] barn [] other farm structures	s [] carriage hou	se [] garage [] privy
16.		red: [X] no [] yes-if so	, why?		
17.	Surroundings of the bu [] industrial		roodland [] scattered	outbuildings [_]	densely built-up [X] commercial
18.	Мар		19. Photo lo	ooking <u>S</u> Pho	otographer Wirth



Significance (Indicate sources of information for	all statements)		
20. Architectural Significance [] a. Ames Contributing [] b. Ames Compatible [x] c. Ames Noncontributing ((Contributing structure)) ((Not eligible/intrusion))			
See continuation sheet.			
21. Historical Significance [] a. Ames Contributing [] b. Ames Compatible [x] c. Ames Noncontributing (Key structure/individua (Contributing structure) (Not eligible/intrusion)			
Further historical research might uncover informatic architectural significance. The period of significance from the face lift.			
Prepared by William C. Page, Public Historian	Date Fall 1991		
Address 104 Southwest Fourth Street Des Moines, IA Organization The Dunbar/Jones Partnership	50309 Telephone 515/280-8026		
For Office of Historic Preservation Use	e Only		
1. Office Information Sources on this Property	[] Review and Compliance Project:		
[] County Resource File [] Windshield Survey	[] Other		
[] National Register	[] Other		
[] Grants-in-Aid: [] Determination of Eligibility	[] Other		
2. Subject Traces	3. Photo Images		
a			
b			
c			
d			

Iowa Site Inventory

Bureau of Historic Preservation Iowa State Department of Cultural Affairs Capitol Complex Des Moines, Iowa 50319

Site Number	054	
		-

CONTINUATION SHEET

Significance

20. Architectural Significance

This is a two-story, brick commercial building with a one-room wide facade. The building features a creamy yellow colored brick. A brick plaque is situated above the second floor windows. Brick used in the plaque is yellow orange in color. The building is topped by a cast concrete coping. Second floor windows are 1/1 with combination aluminum storms. Lintel is brick laid in soldier course. A similar course serves as lintel above the storefront windows and doors. Sills on second floor windows appear older than the present facade and may date to the older building. A door to the second floor apartments stands on the east side of the facade.

This building appears to date from the 1950s. It is assumed that, at this time, a new brick veneer facade was placed over an earlier facade. This building relates in brick color to its neighbor across the street at 131 Main and to those buildings at 119 and 121 Main.

The earlier facade is shown in an 1907 photograph of downtown Ames. This facade had, on the second story, four bays, and a simple brick cornice. When face lifted, the new design converted the second story into two bays, disposed of the cornice, and replaced it with the plaque, an architectural feature popular into the 1950s in Ames.

Although the era of the 1950s is somewhat newer than the cut-off date for this survey (and also newer than the National Register's current 1941 arbitrary cut-off date for significance), this building should be reevaluated as a contributing resource to an historic commercial district when the date of its facade rehabilitation reaches the fifty-year mark. At present, this building is an intrusion unless criteria exceptions are claimed.

This building is, in conclusion, significant because it calls attention to the continuing influence of the commercial style of architeture into the second half of the Twentieth Century in Ames. This influence is most noticable in the brickworked plaque area of the building, in the contrasting color of brick employed here, and the laying of brick using different bonding techniques to provide textural interest to the facade.

Although the doors and windows on the first floor appear to be replacements, this building retains high integrity from the 1950s, and the owners are encouraged to maintain the present facade intact.

Site Number	055		
District Name_			_
Man Reference			_

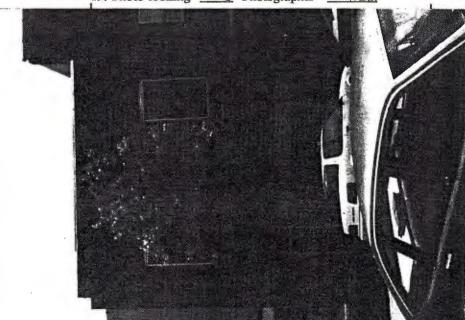
2. Village/Town/City AMES Township WASHINGTON Cou 3. Street Address 128 MAIN STREET 4. Legal Location Urban: subdivision block parcel section Urban: subdivision block parcel section	nty STORY
3. Street Address	
Urban: subdivision block parcel section Urban:	
Urban: Rural: Subdivision township Diock range 1. UTM Location: zoneeastingnorthing; Acreage 6. Owner(s) Name 7. Owner(s) Address (Street address) (City) 8. Use: PresentCOMMERCIALOriginalCOMMERCIAL Description 9. Date of Construction:Architect/Builder 10. Building Type	
6. Owner(s) Name 7. Owner(s) Address (Street address) (City) 8. Use: Present COMMERCIAL Original COMMERCIA Description 9. Date of Construction: Suilding Type Suilding	Subparcel 1/4 section of 1/4 section
(Street address) (City) 8. Use: Present COMMERCIAL Original COMMERCIAL Description 9. Date of Construction: Architect/Builder	
(Street address) (City) 8. Use: Present COMMERCIAL Original COMMERCIA Description 9. Date of Construction: Architect/Builder	
8. Use: PresentCOMMERCIALOriginalCOMMERCIAL Description 9. Date of Construction:Architect/Builder	(8)
9. Date of Construction:	(State) (Zip)
9. Date of Construction:	L .
Building Type	
Building Type	
multiple-family dwelling education public	[_] religious
[X] commercial 11. Exterior walls:	agricultural
11. Exterior walls: clapboard stone [X] brick board and batten shi [X] other	
[X] other 12. Structural System: wood frame with interlocking joints wood frame with light m	ngles [] stucco
[X] masonry load-bearing walls [] iron frame [] steel frame with curtain walls [] other [] deteriorated [] deteriorated [] lotter [] deteriorated [] lotter [] lotter [] deteriorated [] lotter [] lotter notable fear [] lotter farm structures [] carriage hou [] other [] lotter [] l	
[X] masonry load-bearing walls [] iron frame [] steel frame with curtain walls [] other [] deteriorated [] deteriorated [] lotter [] deteriorated [] lotter [] lotter [] deteriorated [] lotter [] lotter notable fear [] lotter farm structures [] carriage hou [] other [] lotter [] l	
[] other	
13. Condition: [] excellent [X] good [] fair [] deteriorated 14. Integrity: [X] original site [] movedif so, when? Notes on alterations, additions (with dates and architect, if known) and any other notable fear (see next page) 15. Related Outbuildings and Property: [] barn [] other farm structures [] carriage hou [] other 16. Is the building endangered: [X] no [] yesif so, why?	reinforced concrete
14. Integrity: [X] original site [_] moved—if so, when? Notes on alterations, additions (with dates and architect, if known) and any other notable fear (see next page) 15. Related Outbuildings and Property: [_] barn [_] other farm structures [_] carriage hou [_] other 16. Is the building endangered: [X] no [_] yesif so, why?	
Notes on alterations, additions (with dates and architect, if known) and any other notable fear(see next page) 15. Related Outbuildings and Property:] barn] other farm structures carriage hou	
(see next page) 15. Related Outbuildings and Property: barn other farm structures carriage hou	
15. Related Outbuildings and Property:] barn] other farm structures] carriage hou	aires of building and site:
other	
16. Is the building endangered: [X] no [] yesif so, why?	se [] garage [] privy
17. Surroundings of the building:	lencaly huilt up [V] commercial
[] industrial [] residential [] other	conservation [A] commercial
C CONTRACT C C CONTRACT C C C C C C C C C C C C C C C C C C	
18. Map 19. Photo looking S Photo	
	otographer Wirth
	otographer Wirth



[] a. Ames Contributing [] b. Ames Compatible [x] c. Ames Noncontributing	(Key structure/individually may qua (Contributing structure) (Not eligible/intrusion)	lify for the National Re	gister)	
This is a two-story, brick comfeatures a facade extensively installed metal vertical siding horizontal metal siding, inset	remodeled, probably in the 196 on the storefront. The second fat the base and canted outwards le on either side of the remodeli	Os or 1970s. The rails or the rails of the r	emodeling odeled with ick walls remain	_
second floor and a simple bric considerably lower than its ne	an 1907 photograph of downtook cornice. The first floor of this eighbors to the east and west which and, in the 1907 photograph, and.	s building had a ce nich indicates, poss	iling sibly, that this	
Because of the extensive alter historic commercial district.	rations to this building, it must b	e considered an in	trusion in an	
•			1.1	
 a. Ames Contributing b. Ames Compatible c. Ames Noncontributing Historical significance is not a would have to date from the p Sources (for primary and secondary) 		to be relevant to the	nis building	te, eb
Prepared by William C. Page, Publi	c Historian	Date	Fall 1991	
	Street Des Moines, IA 50309	Telephone	515/280-8026	
For Office of Historic 1. Office Information Sources on this [] County Resource File [] Windshield Survey [] National Register	Preservation Use Only Property [] Revie	T		
[] Grants-in-Aid: [] Determination of Eligibility 2. Subject Traces	[] Other		mages	
a. b. c. d. e.				

Site Number	056	
District Name_		
Man Reference		

1.	Site Name	COMMERCIAL BUI	LDING		
2.	Village/Town/City	AMES	Township WAS	HINGTON Con	unty STORY
	Street Address				o.4
4.	Legal Location				
	Urban:	subdivision township	block range	parcel action	subparcel 1/4 section of 1/4 section
		easting	northing	; Acreage	No. 10 Company of the
	Owner(s) Name				
7.	Owner(s) Address				
	•	(Street address)	(City):	(State) (Zip)
8.	Use: Present	COMMERCIAL	Original_	COMMERCIA	AL .
De	scription				
9.	Date of Construction:	FACELIFT C. 1920	_Architect/Builder_		
0.	Building Type				
	[] single-family dwell	ling [] industrial		other institutional	[_] religious
	multiple-family dw	relling ducation		public	agricultural
	[X] commercial			•	
11.	Exterior walls:	clapboard [] stone	[] brick [] board an	d batten [] sh	ingles [] stucco
	other				
12.	Structural System: [_	wood frame with interlocki	ng joints [] wood	frame with light n	nembers (balloon frame)
	[X] masonry load-bear	ing walls iron frame	steel frame	with curtain walls	reinforced concrete
	other				
13.	Condition: [] exc	ellent [X] good [_]	fair deteriorat	ted	
	Integrity: [X] origina	site moved-if so, whe	n?		
	Notes on alterations, a	dditions (with dates and archi	itect, if known) and ar	y other notable fea	atures of building and site:
5	Related Outbuildings	at page)	1 ash an farms star -t	- F]	F 3 - 1
J.	F 7	nd Property: [] barn [Jouner tarm structure	s carnage not	use [] garage [] privy
16	s the building endance	red: [X] no [] yes-if so	why?		
·U	as no ounding citalige	LAJIO LJY65II SO	, will i		
17.	Surroundings of the bu	nilding: [] open land [] w	oodland [] scattered	outbuildings [densely built-up [X] commercial
2	Map			ooking \$ Ph	otographer Wirth
.0.	wat	man-phila 195	1		1
		10000	Charles and the Control of the Contr		



	gnificance (Indicate	The state of the s		
0.	Architectural Significance			m
	[] a. Ames Contributing [x] b. Ames Compatible		ually may qualify for the National	Register)
	[] c. Ames Compatible	(Contributing structure (Not eligible/intrusion		
	[] C. Ames Noncommouning	(Not engine) in a stor		
	See continuation sheet.			
	See continuation sheet.			
1.	. Historical Significance	Theme(s)		
	[] a. Ames Contributing		ually may qualify for the National	Register)
	[] b. Ames Compatible	(Contributing structure		
	[x] c. Ames Noncontributing	(Not eligible/intrusion	n)	
	In 1926 Best Electric Comp	pany occupied this buil	ding (ADT, January 12, 19	26, page 7
	advertisement). Historical s	significance is not curr	ently claimed for this buildi	ng, but further
	research might indicate an o			3
	· ·			•
22.	. Sources (for primary and second	dary sources, give complet	e facts of publication: author, t	ue, place of publication, dan
			e facts of publication: author, t	
Pre	epared by William C. Page. Pu	blic Historian	Date	Fail 1991
Pre	epared by William C. Page. Pulldress 104 Southwest Fourt	blic Historian th Street Des Moines, I	Date	Fail 1991
Pre	epared by William C. Page. Pu	blic Historian th Street Des Moines, I	Date	Fail 1991
Pre Add	epared by William C. Page. Pul Idress 104 Southwest Fourt ganization The Dunbar/Jones Pa	blic Historian th Street Des Moines, I	Date IA 50309 Telephone	Fail 1991
Pre Ad	epared by William C. Page. Pulldress 104 Southwest Fourt	blic Historian th Street Des Moines, I	Date IA 50309 Telephone	Fail 1991
Pre Add	epared by <u>William C. Page. Pulldress</u> 104 Southwest Fourt ganization <u>The Dunbar/Jones Pa</u> or Office of Historic Office Information Sources on the	blic Historian th Street Des Moines, I rtnership Preservation Us	Date IA 50309 Telephone	Fall 1991 515/280-8026
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Pre Add	epared by William C. Page. Pulldress 104 Southwest Fourt ganization The Dunbar/Jones Pator Office of Historic Office Information Sources on the [] County Resource File [] Windshield Survey [] National Register [] Grants-in-Aid: [] Determination of Eligibility	blic Historian th Street Des Moines, I rtnership Preservation Us his Property	Date [A 50309 Telephone Se Only [] Review and Compliance [] Other [] Other [] Other	Fall 1991 515/280-8026 Project:
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Pre Addor Org	epared by	blic Historian th Street Des Moines. I rtnership Preservation Us his Property	Date IA 50309 Telephone Se Only [] Review and Compliance [] Other [] Other [] Other [] Other [] Other 3. Photo	Fall 1991 515/280-8026 Project: Images
Pre Addony For I.	epared by William C. Page. Pulldress 104 Southwest Fourt ganization The Dunbar/Jones Pator Office of Historic Office Information Sources on the [] County Resource File [] Windshield Survey [] National Register [] Grants-in-Aid: [] Determination of Eligibility Subject Traces a	blic Historian th Street Des Moines, I rtnership Preservation Us nis Property	Date [A 50309 Telephone Se Only [] Review and Compliance [] Other [] Other [] Other 3. Photo	Fall 1991 515/280-8026 Project: Images

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Iowa Site Inventory

Bureau of Historic Preservation Iowa State Department of Cultural Affairs Capitol Complex Des Moines, Iowa 50319

Site Number	056
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CONTINUATION SHEET

Significance

20. Architectural Significance

This is a two-story, brick commercial building with a one-room wide facade. The building features dark orange colored brick. There is a double plaque above the second story windows. These plaques are defined by dark red brick, which outlines them. The second story has three windows with segmental arches worked in brick. Windows have cast concrete sills. Windows themselves are new installations having one pane. The first floor storefront has been greatly altered with vertical wood siding and new aluminum windows and doors.

An earlier facade on this building is shown in an 1907 photograph of downtown Ames. This facade featured four bays on the second floor, windows with hood molds, and a cornice worked in brick. This building was facelifted circa 1920. Although the alterations, mentioned above, were profound, the new design retained the building's general configuration, including the four bays on the second floor and the building's height, higher than its neighbor to the east and lower than its neighbor to the west. The employment of a double plaque design is unusual in Ames.

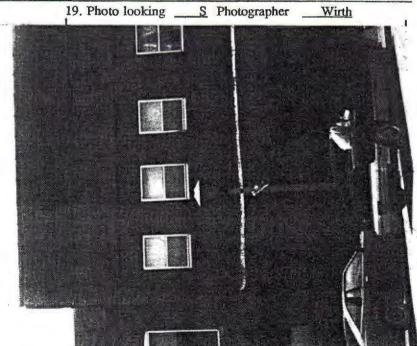
This building is evaluated for significance from the facelift period because this facade is the image which the building presents to the view. The building is significant in this regard because its new design shows the influence of the commercial style of architecture and because the building graphically shows how an earlier design was altered to reflect new tastes.

The original second floor windows have been replaced by single pane windows, and these alterations detract from the integrity of the facelifted design. Although the first floor storefront has been altered with a new door and windows, the original cavities remain intact, including the transom area. Original glass, perhaps of the Luxfer type, may remain behind the paneled-over transom area.

The preservation of this building and the return of the second floor windows to their facelifted configuration is encouraged. The building could become a compatible/contributing building in an historic district depending on the question of the second floor windows.

Site Number	057	
District Name		
Man Reference		

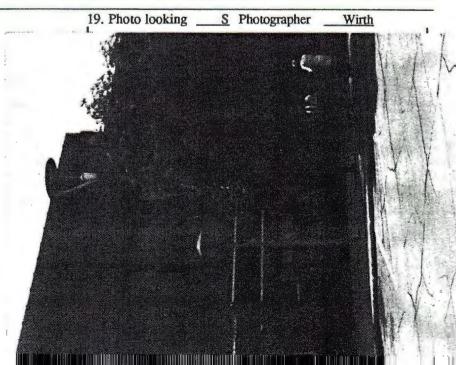
1.	. Site Name C	COMMERCIAL BUIL	LDING				
		MES	Township \	VASHIN	GTON Cou	nty STORY	
3.	Street Address 1						
	. Legal Location						
	Urban: Rural:	subdivision township	bloc range		parcel section	subparcel 1/4 section of 1/4 section	na.
5.	. UTM Location: zone	easting	northing		; Acreage		
	. Owner(s) Name						
	. Owner(s) Address						
		(Street address)		(City)		(State)	(Zip)
8.	. Use: Present	COMMERCIAL	Orig	rinal CO	MMERCIA	L	
De	escription						
9.	. Date of Construction: F	ACELIFT C. 1927	Architect/Build	ler			•
	. Building Type						
	single-family dwelling	[] industrial		[] other	institutional	[] relig	rions
	multiple-family dwelli			[_] publi			
	[X] commercial			puon	~	uga.	
11	. Exterior walls: [] cla	mboard [] stone D	Obrick [] bos	and hatte	en []shi	ngles [] stuc	co
- + •	F 7 41	boors Dans fr	., <i>0.20</i>				
12.	2. Structural System: [] we						
	[X] masonry load-bearing	walls iron frame	steel	frame with	curtain walls	reinforced con	icrete
	other						
13.	. Condition: [] excelle	nt [X] good [] f	air [] det	eriorated			
14.	. Integrity: [X] original sit	e [] moved-if so, when	n?				
	Notes on alterations, addit	ions (with dates and archi	tect, if known) a	and any oth	er notable feat	tures of building an	d site:
	(see next p		,	Ī			Δ.
15.	. Related Outbuildings and	Property: [] barn [] other farm stru	ctures [] carriage hou	se [] garage] privy
	other						
16.	. Is the building endangered	[X] no [] yesif so.	, why?				
17.	. Surroundings of the buildi	ng: [lopen land [lwe	oodland [] sca	ttered outbu	ildings [] d	lensely built-up [X	Commercial
	industrial :	residential	her		- G- C-3	,	
18	. Map		10 Dh	ata lookis	C DL	otographer Wi	eth
. 0.	· min	0 iii banii				owgrapher wi	minutary.



	ources of information for all statements)
20. Architectural Significance [] a. Ames Contributing	(Key structure/individually may qualify for the National Register)
[x] b. Ames Compatible [] c. Ames Noncontributing	(Contributing structure) (Not eligible/intrusion)
[] C. Ames Noncontributing	(1401 engine industrial)
already in place in 1900, it wa Main, its neighbor to the west extended across the entire face worked in brick. The 1/1 dou face lift and correspond to tho from the total composition. T	mercial building with a two-room wide facade. An old building is face lifted to update its appearence. The building relates to 136. It features, in this regard, a plaque and window sills and lintels ade as stringcourses. The building also has a rudimentary cornice ble hung sash type windows at 134 appear to be original to the se at 136. The windows at 132 have been infilled and this detracts the entire 132-134 building has been painted. This greatly distracts ause the original color of the brick was probably variagated and an it's design.
	of this building has been altered and infilled, these alterations have the face lifted building and appear to be reversible.
This building is significant bed Ames. It should perhaps be e	cause it calls attention to the Face Lifts on Main movement in valuated as two buildings.
	eme(s)
[] a. Ames Contributing[] b. Ames Compatible[] c. Ames Noncontributing	(Key structure/individually may qualify for the National Register) (Contributing structure) (Not eligible/intrusion)
Further historical research migevaluation possible.	ght uncover information which would make an historical
22. Sources (for primary and secondar	y sources, give complete facts of publication: author, title, place of publication, date,
,	
Prepared by William C. Page. Public Address 104 Southwest Fourth	C Historian Date Fall 1991 Street Des Moines, IA 50309 Telephone 515/280-8026
Organization The Dunbar/Jones Partn	ership
For Office of Historic I	Preservation Use Only
Office Information Sources on this: [] County Resource File	
[] Windshield Survey	[] Other
National Register	[] Other
[] Grants-in-Aid: [] Determination of Eligibility	[] Ould
2. Subject Traces	3. Photo Images
a	
b	
c	
d e	

Site Number	058	
District Name_		
Man Reference		

1	Site Name	COMMERCIAL BUIL	LDING			
	Village/Town/City	AMES	Township WAS	HINGTON Coun	ty STORY	
	Street Address	136 MAIN STREET				*
	Legal Location					
	Urban: Rural:	subdivision township	block	parcel	subparcel 1/4 section of 1/4 section	
5.	UTM Location: zone	easting	northing	; Acreage		
6.		3				
7.	Owner(s) Address					
	** ,	(Street address)	(City)		(State)	(Zip)
8.	Use: Present	COMMERCIAL	Original_	COMMERCIAI	· · · · · · · · · · · · · · · · · · ·	
De	scription					
9.	Date of Construction:	C. 1927	Architect/Builder			
	Building Type					
10.	single-family dwelli multiple-family dwe			other institutional public	religi	
11.	Exterior walls: [] other	clapboard [] stone []	() brick [] board and	l batten [] shin	gles · [] stucce)
12.		wood frame with interlocking walls [] iron frame		frame with light me with curtain walls		
13	Condition: [] exce	ilent [X] good [] f	fair [] deteriorate	ad		
	Integrity: [X] original	site [] moved-if so, when	n?			
	Notes on alterations, ad	ditions (with dates and archi	itect, if known) and an	y other notable featu	ires of building and	site:
15.		ad Property: [] barn [] other farm structures	carriage house	e [] garage [] privy
16.		ed: [X] no [] yesif so	, why?			*****
17.		lding: [] open land [] w	oodland [] scattered		ensely built-up [X]	commercial
18.	Мар		19. Photo lo	oking <u>S</u> Phot	ographer Wirt	<u>h</u>

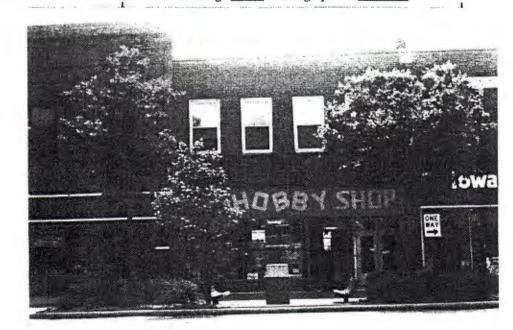


Significance (Indicate se	ources of information for all statem	ients)		
20. Architectural Significance [x] a. Ames Contributing [] b. Ames Compatible [] c. Ames Noncontributing	(Key structure/individually may q (Contributing structure) (Not eligible/intrusion)		egister)	'n
This is a two-story, brick combeige and light brown textured trimwork. Trim comprises a pare extended as stringcourses a 1/1 double hung sash type with works to the building's benefit cornice. The first floor has blacteam colored glass bands. Ostreamlined note to the building patterns. Although the bulkhed distracts from the clean, hard I material.	brick for the body of the faculaque and window sills and lacross the entire facade of the the wood trim painted same. The building also features ack Carrara type glass storewhere end of this window is seming. In the transom area, glass ad of the storefront is now contact.	ade and maroon collintels on the second building. These we color as the brick of a rudimentary, brick indow trimmed with in-circular and adds is also worked in a byered in vertical we	ored brick for I floor which vindows are rim, which kworked h greenish a strong shaped ood siding and	
This building appears to have storefront added. The building Main movement in Ames. The additional significance because storefront and interjects a strong itself on its no-nonsense, utility	g is significant because it calls to building's integrity is outstate the first floor is a rare examing note of elegance into Main	s attention to the Fa anding. The building tiple in Ames of the to Street which, gene	ce Lifts on g obtains use of a glass	
21. Historical Significance The [] a. Ames Contributing [x] b. Ames Compatible [] c. Ames Noncontributing In 1926 this building housed a the 1930s) calls attention to Ar Depression.		front (which appears	s to date from	_
22. Sources (for primary and secondary				late, etc
Address 104 Southwest Fourth S Organization The Dunbar/Jones Partner	Street Des Moines, IA 50309	Date	Fall 1991 515/280-8026	
For Office of Historic P	reservation Use Onl	у		
Office Information Sources on this I [] County Resource File [] Windshield Survey [] National Register [] Grants-in-Aid: [] Determination of Eligibility	[] Out	her		
2. Subject Traces	empaignement and		Images	
a				
	The second secon			

e. ___

Site Number 059 District Name_ Map Reference_

uc	minication						
1.	Site Name	COMMERCIAL BUIL					
2.	Village/Town/City	AMES	Township	WASHING	GTON Cou	inty <u>STORY</u>	
	Street Address	200 MAIN STREET			-		
4.	Legal Location						
	Urban: Rural:	subdivision township	blox range		parcel section	subparcel 1/4 section of 1/4 se	ection
5.	UTM Location: zone	easting	northing		; Acreage _		
6.	Owner(s) Name	<u> </u>	V				
	Owner(s) Address						
		(Street address)		(City)		(State)	(Zip)
8.	Use: Present	COMMERCIAL	Ori	ginal COI	MMERCIA	AL	
De	escription						
		FACELIFT C. 1958	_Architect/Buil	der			·
0 .	Building Type						
	single-family dwellir				institutional		eligious
	multiple-family dwe	lling [] education		[] public	3	L a	gricultural
11		elapboard [] stone [2	Obrick []bo	ard and hatte	n fleh	ingles [] st	ucco
ı.	other	Tapocard Storic (2	L) OICE L, DO	ard and batte	ar [] Oth	ingres si	
12.	Structural System: []	wood frame with interlocki	ng joints [wood frame	with light n	nembers (balloon	frame)
		g walls [] iron frame	steel	frame with	curtain walls	reinforced	concrete
	other						
13	Condition: [] excel	lent [X] good [] i	air []de	teriorated			
		site [] movedif so, when					
	Notes on alterations, add	litions (with dates and archi	tect, if known)	and any othe	r notable fea	tures of building	and site:
	(see next	page)					
15.	Related Outbuildings and	d Property: [] barn [] other farm str	uctures []	carriage hou	ise [] garage	<pre>privy</pre>
	[_] other						
16.	Is the building endangere	ed: [X] no [] yes-if so	, why?				
17	Surmundings of the buil	ding:	nodland []ee	attered outbu	ildings [].	densely built-up	[X] commercial
		residential of				consory ount-up	[11] communication
]					
18.	Map		19. Pl	hoto looking	S Ph	otographer	Wirth



	rces of information for all statements	;)	
[] b. Ames Compatible	(Key structure/individually may qualif (Contributing structure) (Not eligible/intrusion)	fy for the National Register)	
This is a two-story, brick comme features a name plaque of cast c has cast concrete corner decorate crank-out windows on the secon cast concrete sills. Although the wood siding, it respects the space	oncrete impressed with "P. Fra ions and parapet cap. It feature d floor are commercial style of storefront of this building has	ango Bldg". The building also es red and yellow brick. The f metal construction and have been altered with vertical	
This building is significant becar which transformed the Ames ce Building is a late example of thi higher level of architectural deta concrete details are cases in poin building is architect designed—p architect could be identified for building would also be a fine ex- Technology."	ntral business district prior to very sphenomonen. Also significant it than is usually found in face at, as are the second floor wind cossibly a professional associate this building who was associate the second floor wind floor win	World War II. The P. Frango nt about this building is a lifted buildings. The cast dows. These suggest that this ted with Iowa State. If an ted with Iowa State, this	
21. Historical Significance Them [] a. Ames Contributing [] b. Ames Compatible [] c. Ames Noncontributing	e(s)	fy for the National Register)	
	Street (now a park): In the 19 isiness. Established in 1929, to Dudgeon had worked in his	240s this space was occupied by this business was successful and father's jewelry business in Ames	~
22. Sources (for primary and secondary	sources, give complete facts of publ	lication: author, title, place of publication, date	, etc
Prepared by William C. Page, Public I Address 104 Southwest Fourth Str Organization The Dunbar/Jones Partners	eet Des Moines, IA 50309	Date Fall 1991 Telephone 515/280-8026	
For Office of Historic Pr	eservation Use Only		
1. Office Information Sources on this Pro [] County Resource File [] Windshield Survey [] National Register [] Grants-in-Aid: [] Determination of Eligibility	[] Other_	and Compliance Project:	
2. Subject Traces	-	3. Photo Images	
a			

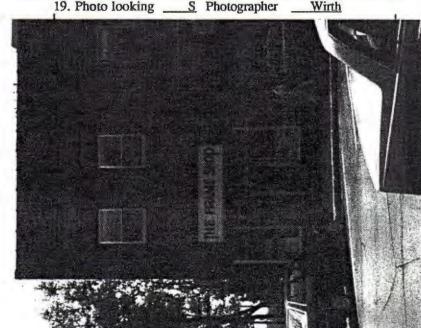
Iowa Site Inventory Bureau of Historic Preservation Iowa State Department of Cultural Affairs

Capitol Complex
Des Moines, Iowa 50319

Site Number	061	
District Name_		
Map Reference		

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36 31		tifi	1.43	ш	24 1

1.	Site Name	COMMERCIAL BUIL			
2.	Village/Town/City	AMES	Township WAS	HINGTON Con	inty STORY
	Street Address	208 MAIN STREET			
4.	Legal Location				
	Urban: Rural:	subdivision township	block range	parcel	subparcel 1/4 section of 1/4 section
6.	Owner(s) Name	easting	northing	; Acreage _	
7.	Owner(s) Address	(Street address)	(City)		(State) (Zip)
8.	Use: Present	COMMERCIAL	Original_	COMMERCIA	AL .
De	scription				
10.	Building Type [] single-family dwelli [] multiple-family dwelli [X] commercial	elling education		other institutional public	religious agricultural ingles stucco
12.		wood frame with interlocking walls			
	Condition: [] excellentegrity: [X] original Notes on alterations, ad (see new factors)	site [] movedif so, when ditions (with dates and archi	air deterioraten? deterioratet, if known) and an		ntures of building and site:
15.		nd Property: [] barn [other farm structures	carriage hou	use [] garage [] privy
16.		ed: [X] no [] yesif so	, why?		
17.		ilding: [] open land [] w	oodland [] scattered her	outbuildings []	densely built-up [X] commerc
18.	Мар		19. Photo lo	oking <u>S</u> Ph	otographer Wirth



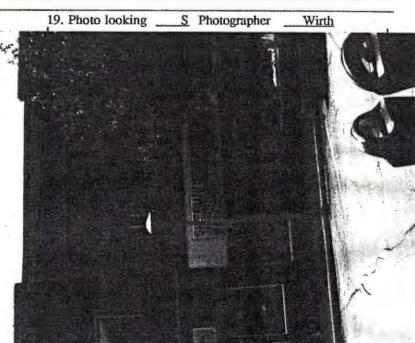
irces of information for all statements)
(Key structure/individually may qualify for the National Register) (Contributing structure) (Not eligible/intrusion)
nercial building with a two-room wide facade. The building is at. These buildings were originally designed as a commercial in the street accessing the second floor. The west room (number photograph of the area. Sometime circa 1935, possibly later, lifted. The building at 208 now features bricks of red, purple is a stringcourse situated above the second floor windows and ther courses are situated above this and define a rudimentary asketweave pattern above this and near the tile coping which caps ing windows on the second floor may or may not be original to have it calls attention to the Face Lifts on Main movement, for II. The buildings at 208 and 210 are additionally significant fineteeth Century as a commercial block of 2 rooms, these at the same time and show a continuity of architectural detail. We her or owners of the buildings chose such different colored brick
(Key structure/individually may qualify for the National Register) (Contributing structure) (Not eligible/intrusion) ide information to help evaluate the historical significance of d at this time. sources, give complete facts of publication: author, title, place of publication, date, a
Historian Date Fall 1991 reet Des Moines, IA 50309 Telephone 515/280-8026
Ship
reservation Use Only roperty [] Review and Compliance Project: [] Other
reservation Use Only roperty [] Review and Compliance Project: [] Other

Iowa Site Inventory Bureau of Historic Preservation 062 Iowa State Department of Cultural Affairs Site Number District Name Capitol Complex Map Reference Des Moines, Iowa 50319 Identification COMMERCIAL BUILDING 1. Site Name Township WASHINGTON County **AMES** 2. Village/Town/City 210 MAIN STREET 3. Street Address 4. Legal Location block subparcel Urban: subdivision narcel 1/4 section of 1/4 section section Rural: township range 5. UTM Location: zone northing : Acreage easting 6. Owner(s) Name 7. Owner(s) Address (City) (State) (Zip) (Street address) Original COMMERCIAL COMMERCIAL 8. Use: Present Description 9. Date of Construction: FACELIFT C.1930 Architect/Builder 10. Building Type other institutional [] religious single-family dwelling [] industrial multiple-family dwelling 1 education [] public [] agricultural [X] commercial [_] clapboard [] stone [X] brick [] board and batten [] shingles [] stucco 11. Exterior walls: other_ 12. Structural System: [] wood frame with interlocking joints wood frame with light members (balloon frame) [X] masonry load-bearing walls [] iron frame [] steel frame with curtain walls [] reinforced concrete other 13. Condition: __ excellent [X] good deteriorated 14. Integrity: [X] original site [] moved-if so, when? Notes on alterations, additions (with dates and architect, if known) and any other notable features of building and site; (see next page) 15. Related Outbuildings and Property: barn other farm structures carriage house garage privy other 16. Is the building endangered: [X] no [] yes--if so, why? 17. Surroundings of the building: [] open land [] woodland [] scattered outbuildings [] densely built-up [X] commercial [] industrial [] residential [] other 18. Map 19. Photo looking S Photographer Wirth

Significance (Indicate sources of inform	nation for all statements)			
	/individually may qualify	for the National R	egister)	
[x] b. Ames Compatible (Contributing [] c. Ames Noncontributing (Not eligible)				
This is a two-story, brick commercial build associated with 208 Main Street. These build block with a central doorway on the street a 210 Main) is pictured in a 1907 photograph both these buildings were face lifted. The hand tawny yellow. There is a stringcourse solider course. Two other courses are situal Brick is laid in a basketweave pattern above The 2/2 double hung windows on the secon This building is significant because it calls a popular in Ames until World War II. The b	Ildings were original accessing the second of the area. Somethe building at 210 now situated above the setted above this and dethis and near the till defloor may or may attention to the Face	ly designed as a floor. The westime circa 1935, features bricks econd floor win efine a rudiment e coping which not be original Lifts on Main re	st room (number possibly later, of red, dark red, dows and laid in a tary plaque area. caps the parapet. to the face lift.)
because, beginning life in the Nineteeth Cer buildings also were face lifted at the same ti can only speculate why the owner or owner for the face lift improvement.	ntury as a commerci	al block of 2 ro inuity of archite	oms, these ectural detail. We	
21. Historical Significance [] a. Ames Contributing [] b. Ames Compatible [] c. Ames Noncontributing (Not eligible)		for the National R	egister)	
Additional research might provide more info significance of the building. It is not evaluate. 22. Sources (for primary and secondary sources, give	ated at this time.			ate. etc.
Prepared by William C. Page, Public Historian		Date	Fall 1991	, 0
Address 104 Southwest Fourth Street Des M	foines, IA 50309	Telephone	515/280-8026	
Organization The Dunbar/Jones Partnership				
For Office of Historic Preservation 1. Office Information Sources on this Property	•	and Compliance P.	miect:	
[] County Resource File				
[] Windshield Survey	[] Other_			
[] National Register	[] Other	· · · · · · · · · · · · · · · · · · ·		
[] Determination of Eligibility	[] Oute			
2. Subject Traces		3. Photo	mages	-
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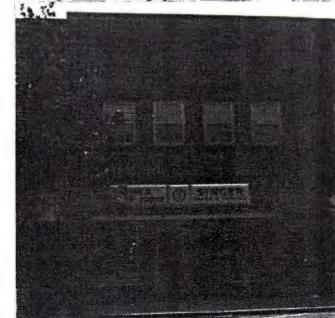
Site Number	063	
District Name_		
Man Reference		

lue	enuncation			*		
1.	Site Name	COMMERCIAL BUIL	DING			
2.	Village/Town/City	AMES	Township WAS	HINGTON Con	unty STORY	
	Street Address					
4.	Legal Location					
	Urban: Rural:	subdivision township	block	parcel	subparcel 1/4 section of 1/4 section	1
5.	UTM Location: zone	easting	northing	; Acreage		
6.	Owner(s) Name					
7.	Owner(s) Address		· (6:-)			
		(Street address)	(City)		(State)	(Zip)
8.	Use: Present	COMMERCIAL	Original_	COMMERCIA	AL	
De	scription		882 on als	le ci		
9.	Date of Construction:	PRIOR TO 1896*	Architect/Builder			
	Building Type [] single-family dwelling [] multiple-family dwe [X] commercial	lling ducation		other institutional public	agric agric	
11.	Exterior walls: [] other	clapboard [] stone [X] brick [] board and	batten [] sh	ingles stucc	0
12.		wood frame with interlocking walls [] iron frame				
		llent [X] good [] fa		ed		
14.	Notes on alterations, add	site [] movedif so, when titions (with dates and archit t page)	ect, if known) and an	y other notable fea	ntures of building and	site:
15.		d Property:	other farm structures	[] carriage hou	use [] garage [_] privy
16.		ed: [X] no [] yesif so,	why?			
		lding: [] open land [] wo	odland [] scattered	outbuildings []	densely built-up [X	commercial
18.	Мар		19. Photo lo	oking <u>S</u> Ph	otographer Wir	th
		inequality is a to a company of the second o		1.00		N Z



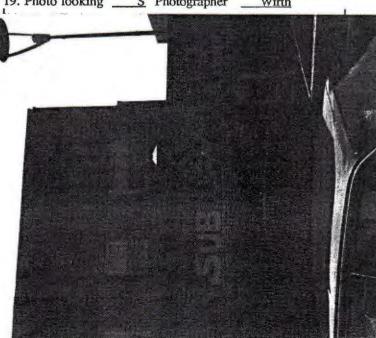
Significance (Indicate sources of information for a 20. Architectural Significance	all statements)
[] a. Ames Contributing (Key structure/individual	lly may qualify for the National Register)
[] b. Ames Compatible (Contributing structure) [x] c. Ames Noncontributing (Not eligible/intrusion)	
This is a two-story, brick commercial building with according to fire insurance maps prior to 1896, this of downtown Ames. As such, it is associated in sty Main. Although 214 was remodeled, the building at architectural detail. This includes a series of three p brick arch, which is situated over the second floor v segmental hold molds and feature original 2/2 doubl sills. Although the first story portion of the building by reducing its height rather than extending it upwar have infilled this area. Sometime during the building pressed metal cornice was removed. Evident in the 212 had this feature while it was lacking at that time absence of this cornice impacts the integrity of this becommercial architecture in Ames. This building calls attention to the first generation of Ames and, as such, does not relate to the influence of Ames. As a result, this building would be intrusive	a one-room wide facade. Built building appears in a 1907 photograph le with its neighbor to the west 214 to 212 retains much of its Victorian aired arches worked in brick over a wide windows. These windows have le hung sash with stone or cast concrete g has been radically altered, it was done rds. About half-a-dozen brick courses ag's history, a high and unusual brick and 1907 photograph already mentioned, a (if it was ever built) on 214. The building as an example of late Victorian
derived significance from the commercial style.	
21. Historical Significance [] a. Ames Contributing [] b. Ames Compatible [] c. Ames Noncontributing (Not eligible/intrusion)	
In 1927 Smith Jewelry occupied this building having More historical research is needed for this building, activity which would relate to the Progressive Era in historic commercial district connected with that periods.	It may call attention to a commercial Ames and, as such, contribute to an
22. Sources (for primary and secondary sources, give complete	facts of publication: author, title, place of publication, date, etc
* Sanborn fire insurance map, 1896.	
Prepared by William C. Page, Public Historian	Date Fall 1991
Address 104 Southwest Fourth Street Des Moines, IA Organization The Dunbar/Jones Partnership	
For Office of Historic Preservation Use	e Only
Office Information Sources on this Property [] County Resource File	[] Review and Compliance Project:
[] Windshield Survey [] National Register	[] Other
Grants-in-Aid:	[] Other
[] Determination of Eligibility	
2. Subject Traces	3. Photo Images
a	
b	
c	
d	

Iowa Site Inventory Bureau of Historic Preservation 064 Site Number Iowa State Department of Cultural Affairs District Name Capitol Complex Man Reference Des Moines, Iowa 50319 Identification COMMERCIAL BUILDING 1. Site Name Township WASHINGTON County STORY **AMES** 2. Village/Town/City_ 214 MAIN STREET 3. Street Address 4. Legal Location parcel. subparcel Urban: subdivision block 1/4 section of 1/4 section Rural: ection. northing. ; Acreage 5. UTM Location: zone easting 6. Owner(s) Name 7. Owner(s) Address (City) (State) (Zip) (Street address) COMMERCIAL Original COMMERCIAL 8. Use: Present Description 9. Date of Construction: FACELIFT C. 1930 Architect/Builder 10. Building Type single-family dwelling [] industrial other institutional [] religious [] multiple-family dwelling [] education [] public agricultural [X] commercial [X] brick [] board and batten [] shingles 11. Exterior walls: [_] clapboard [] stone [_] stucco other_ 12. Structural System: [] wood frame with interlocking joints [] wood frame with light members (balloon frame) [X] masonry load-bearing walls [] iron frame [] steel frame with curtain walls [] reinforced concrete Tother 13. Condition: deteriorated [] excellent [X] good [] fair 14. Integrity: [X] original site [] moved-if so, when? Notes on alterations, additions (with dates and architect, if known) and any other notable features of building and site: (see next page) 15. Related Outbuildings and Property: [] barn other farm structures carriage house garage privy 16. Is the building endangered: [X] no [] yes-if so, why? 17. Surroundings of the building: [] open land [] woodland [] scattered outbuildings [] densely built-up [X] commercial [] industrial [] residential [] other 18. Map Wirth 19. Photo looking S Photographer 13. The



	ources of information for all statements)
20. Architectural Significance	OF THE STATE OF TH
[] a. Ames Contributing[x] b. Ames Compatible	(Key structure/individually may qualify for the National Register) (Contributing structure)
[] c. Ames Noncontributing	(Not eligible/intrusion)
()	(**************************************
This is a two-story, brick com	nercial building with a one-room wide facade. It features
brick in a red color and brick i	a brown and yellow mixed color. Near the parapet, a plaque
is worked in red brick with the	butt ends laid to define this rectangular space. The second
	h with 6/6 window pane configuration. These windows have
	utt end. The store front features black opaque glass above the
	nere a transom would normally be located. Although modern
signage is situated over this gl	ass, the glass itself does not appear to be seriously damaged.
	tuated on the west side of this building.
This building is significant bec	ause it calls attention to the influence of the commercial school
	business district in Ames. In this instance, the building
appears to have been face lifte	about 1930 to update its image. As such, it calls attention to
the Face Lifts on Main movem	
	ne(s)(Key structure/individually may qualify for the National Register)
[] a. Ames Contributing [] b. Ames Compatible	(Contributing structure)
[] c. Ames Noncontributing	(Not eligible/intrusion)
Further research might indicate	historical significance for this building. It is not evaluated at
this time.	. •
22. Sources (for primary and secondary	sources, give complete facts of publication: author, title, place of publication, date, etc
•	_
Prepared by William C. Page, Public	
Address 104 Southwest Fourth S	treet Des Moines, IA 50309 Telephone 515/280-8026
Organization The Dunbar/Jones Partner	orship
For Office of Historic F	reservation Use Only
1. Office Information Sources on this	Property [] Review and Compliance Project:
[] County Resource File	
[] Windshield Survey	[] Other
National Register	[] Other
[] Grants-in-Aid: [] Determination of Eligibility	[] Other
[] Determination of Eligibility	-
	3. Photo Images
2. Subject Traces	J. 11000 1110800
a	
b	
c	
d	
e	

Iowa Site Inventory Bureau of Historic Preservation 065 Site Number Iowa State Department of Cultural Affairs District Name Capitol Complex Des Moines, Iowa 50319 Map Reference Identification COMMERCIAL BUILDING 1. Site Name_ Township WASHINGTON County STORY AMES 2. Village/Town/City_ 216 MAIN STREET 3. Street Address 4. Legal Location Urban: block parcel subparcel subdivision 1/4 section of 1/4 section township range section Rural: : Acreage 5. UTM Location: zone easting northing 6. Owner(s) Name 7. Owner(s) Address (City) (Street address) (State) (Zip) COMMERCIAL Original COMMERCIAL 8. Use: Present Description 9. Date of Construction: FACE LIFT C, 1940(?) Architect/Builder 10. Building Type single-family dwelling [] industrial [] other institutional [] religious multiple-family dwelling [] education [] public [] agricultural [X] commercial [] clapboard [] stone [X] brick [] board and batten 11. Exterior walls: [] shingles stucco [] other_ 12. Structural System: [] wood frame with interlocking joints [] wood frame with light members (balloon frame) [X] masonry load-bearing walls [] iron frame [] steel frame with curtain walls [] reinforced concrete [] other 13. Condition: excellent [X] good deteriorated [] fair 14. Integrity: [X] original site [] moved--if so, when? Notes on alterations, additions (with dates and architect, if known) and any other notable features of building and site: (see next page) 15. Related Outbuildings and Property: barn other farm structures carriage house garage [] privy 1 other 16. Is the building endangered: [X] no [] yes--if so, why? 17. Surroundings of the building: _ open land _ woodland _ scattered outbuildings _ densely built-up [X] commercial [] industrial [] residential other 18. Map 19. Photo looking _ S Photographer Wirth



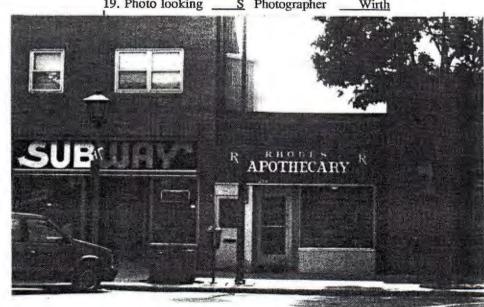
20. Architectural Significance [] a. Ames Contributing [] b. Ames Compatible [] c. Ames Noncontributing	(Key structure/individua (Contributing structure) (Not eligible/intrusion)	lly may qualify	for the National R	egister)	
This is a two-story, brick comm features creamy yellow brick an caps the building. This building window sills and lintels, althoug bottom up. The windows on the configuration other than the pres	d creamy orange bri grelates to that at 21 gh the windows at 2 e second floor may,	ck on the fac 4 Main. This 16 have been	ade. A cast co s is most notica fore-shortene	ncrete coping able in the d from the)
This building is significant becar which in the first half of the Two Victorian commercial district intextraneous architectural detail. may date as late as 1955. It could configuration of the windows we the building is not presently evaluation.	entieth Century trans to one characterized. The building at 216 ld call attention to the rere documented. M	sformed Ame by clean line is a late exan is movement	es Main Street s unincumbere aple of such a factoric particularly if	from a d by face lift and the	
21. Historical Significance Them [] a. Ames Contributing [] b. Ames Compatible [] c. Ames Noncontributing	(Key structure/individua (Contributing structure) (Not eligible/intrusion)		for the National R	egister)	
Further historical research is necessary 22. Sources (for primary and secondary 22.				e, place of publication,	date,
Prepared by William C. Page, Public 1	Historian		Date	Fall 1991	
Address 104 Southwest Fourth Str Organization The Dunbar/Jones Partner	reet Des Moines, IA	50309	Telephone	515/280-8026	
For Office of Historic Pr 1. Office Information Sources on this Pr [] County Resource File [] Windshield Survey [] National Register [] Grants-in-Aid: [] Determination of Eligibility	reservation Use	[] Review ar			
2. Subject Traces			3. Photo I	mages	
a					
C					
(I.					
d					

(Indicate sources of information for all statements)

Significance

Site Number	066	
District Name	,	
Man Reference		

1.	Site Name	COMMERCIAL BUIL			
2.	Village/Town/City	AMES	Township_WAS	HINGTON Cou	inty STORY
3.	Street Address				
4.	Legal Location				
	Urban: Rural:	subdivision towaship	block	parcel	subparcel 1/4 section of 1/4 section
б.	Owner(s) Name	easting		; Acreage	
7.	Owner(s) Address	(Street address)	(City)		(State) (Zip)
		(Street address)	(City)		(State) (Zip)
8.	Use: Present	COMMERCIAL	Original_	COMMERCIA	IL
De	scription				
10.	Building Type single-family dwelli multiple-family dwelli commercial	elling education		other institutional public	agricultural
11.	Exterior walls:	clapboard [] stone [7	K) brick board and	1 batten sh	ingles [] stucco
12.		wood frame with interlocking walls iron frame			
	Integrity: [X] original	ellent [X] good [] f site [] movedif so, when ditions (with dates and archi	n?		tures of building and site:
15.	Related Outbuildings ar	kt page) nd Property: [] barn [_] other farm structures	carriage hou	se 🗌 garage 🔲 privy
16.		red: [X] no [] yesif so	, why?		
17.	Surroundings of the bui	ilding: open land we		outbuildings []	densely built-up [X] commercial
18.	Мар		19. Photo lo	oking S Pho	otographer Wirth



	ources of information for a	di statements)			
20. Architectural Significance [] a. Ames Contributing [] b. Ames Compatible [x] c. Ames Noncontributing	(Key structure/individual (Contributing structure) (Not eligible/intrusion)	ly may qualify fo	or the National R	egister)	
This is a one-story, brick commarrower than most in the Amwith 220 Main Street. The buraltered with installation of vertalso a newer alteration to the beneeds further documentation beimportance for evaluation other	es central business building features brick pical siding material abuilding. This is a verecause the architectura	siness. In 19 ainted dark be bove the doors y modest buil al significance	11 this building town. The stand window ding. Its history of the building.	ng was associated orefront has been. The bulkhead is orical significance)
21. Historical Significance The [] a. Ames Contributing [] b. Ames Compatible [x] c. Ames Noncontributing	me(s)	ly may qualify fo	or the National R	egister)	
See architectural significance.					
22. Sources (for primary and secondary	y sources, give complete	facts of publicat	ion: author, title	e, place of publication, d	late, etc
Prepared by William C. Page, Public	Historian		Date	Fall 1991	
Address 104 Southwest Fourth S Organization The Dunbar/Jones Partner		50309	Telephone	515/280-8026	
For Office of Historic P 1. Office Information Sources on this I [] County Resource File [] Windshield Survey [] National Register [] Grants-in-Aid: [] Determination of Eligibility	Preservation Use Property —	[] Review and		oject	
2. Subject Traces			3. Photo I	mages	
a					
c					
e					

Iowa Site Inventory Bureau of Historic Preservation 067 Iowa State Department of Cultural Affairs Site Number District Name Capitol Complex Des Moines, Iowa 50319 Man Reference Identification AMES SILVERSMITHING BUILDING 1. Site Name Township WASHINGTON County STORY **AMES** 2. Village/Town/City 3. Street Address 220 MAIN STREET 4. Legal Location Urban: subdivision block parcel subparcel Rural: section 1/4 section of 1/4 section range 5. UTM Location: zone northing easting ; Acreage 6. Owner(s) Name 7. Owner(s) Address (Street address) (City) (State) (Zip) 8. Use: Present COMMERCIAL Original COMMERCIAL Description 9. Date of Construction: 1989 Architect/Builder KEITH ROLLENHAGEN, DESIGNER & BUILDEF 10. Building Type single-family dwelling [] industrial 1 other institutional [] religious multiple-family dwelling [] education [_] public agricultural [X] commercial 11. Exterior walls: [_] clapboard [_] stone [X] brick [] board and batten [] shingles stucco [] other 12. Structural System: [] wood frame with interlocking joints [] wood frame with light members (balloon frame) [X] masonry load-bearing walls [] iron frame steel frame with curtain walls [] reinforced concrete [] other_ 13. Condition: excellent [X] good [] deteriorated 14. Integrity: [X] original site [] moved-if so, when? Notes on alterations, additions (with dates and architect, if known) and any other notable features of building and site: (see next page) 15. Related Outbuildings and Property: [] barn [] other farm structures [] carriage house [] garage privy 1 other 16. Is the building endangered: [X] no [] yes--if so, why? [] industrial [] residential [] other 18. Map 19. Photo looking Photographer Wirth HODES THECARY

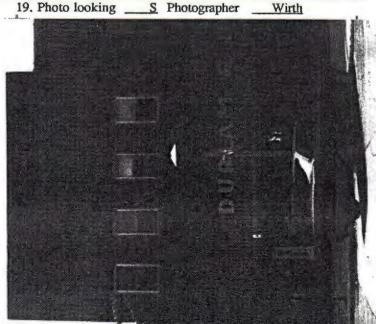
	urces of information for all statements)
20. Architectural Significance [] a. Ames Contributing [] b. Ames Compatible	(Key structure/individually may qualify for the National Register) (Contributing structure)
[x] c. Ames Noncontributing	(Not eligible/intrusion)
housed two commercial build building was constructed in 19 the wood brackets and comice for an historic commercial dis facade is particularly appropri	nercial building with a one-room wide facade. In 1911 this site ags of narrower than standard width for Ames. The present ags. Although it contains a Victorian Revival storefront design, design suggest a period of significance earlier than that proposed ict in Ames. The introduction of polychrome brick in the new the for commercial design in downtown Ames. Because of its new aluated as an intrusion to an historic commercial district.
G1 III.Amilani Giantetannan Ti	
21. Historical Significance The [] a. Ames Contributing [] b. Ames Compatible [x] c. Ames Noncontributing	(Key structure/individually may qualify for the National Register) (Contributing structure) (Not eligible/intrusion)
Because of alterations to the b	ilding, historical significance does not obtain.
	3,
7	
Prepared by William C. Page, Publi	Historian Date Fall 1991
Address 104 Southwest Fourth	reet Des Moines, IA 50309 Telephone 515/280-8026
Organization The Dunbar/Jones Parts	ship
For Office of Historic	reservation Use Only
1. Office Information Sources on this	roperty [] Review and Compliance Project:
[] County Resource File	[] Other
[] National Register	Other
[] Grants-in-Aid:	[] Other
2. Subject Traces	3. Photo Images
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a. b.	
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<u> </u>	

Iowa Site Inventory Bureau of Historic Preservation 068 Iowa State Department of Cultural Affairs Site Number Capitol Complex District Name Des Moines, Iowa 50319 Map Reference_ Identification COMMERCIAL BUILDING 1. Site Name Township WASHINGTON County 2. Village/Town/City AMES 3. Street Address 224 MAIN STREET 4. Legal Location subdivision block parcel subparcel Urban: Rural: township range section 1/4 section of 1/4 section 5. UTM Location: zone northing Acreage 6. Owner(s) Name 7. Owner(s) Address (Street address) (City) (State) (Zip) COMMERCIAL Original COMMERCIAL 8. Use: Present Description 9. Date of Construction: 1970-1985 ALTERATIONS Architect/Builder 10. Building Type [] single-family dwelling [_] industrial other institutional religious [] multiple-family dwelling [] agricultural [] education [] public [X] commercial 11. Exterior walls: [] clapboard [_] stone [X] brick [_] board and batten [] shingles stucco [_] other 12. Structural System: [] wood frame with interlocking joints wood frame with light members (balloon frame) [X] masonry load-bearing walls [] iron frame [] steel frame with curtain walls [] reinforced concrete 1 other 13. Condition: [] excellent [X] good [] fair [] deteriorated 14. Integrity: [X] original site [] moved-if so, when? Notes on alterations, additions (with dates and architect, if known) and any other notable features of building and site: (see next page) [] other 16. Is the building endangered: [] no [X] yes--if so, why? Structurally unsound--condemned by city (1990) but now in court 17. Surroundings of the building: [] open land [] woodland [] scattered outbuildings [] densely built-up [X] commercial [] industrial residential other_ 18. Map 19. Photo looking S Photographer Wirth

					es of information for	all statements)			
20.			Ames Contributir		Key structure/individu	ally may qualify	for the National R	egister)	
			Ames Compatible		contributing structure		,	- 8	
	[x]	c.	Ames Noncontrib	outing (N	lot eligible/intrusion)			
				٨.					_
	of t	he i	narrowest in the	e Ames cent on this site to	cial building with ral business distri be tiny. This na ird quarter of the	ct. A 1911 fi	re insurance malls attention to	This facade is one ap of Ames the irregularity	
	OI 0		onomo al lano		1				
	cen fac:	tral	business distri	ct (the secon	e of this building d floor appearance ly, if not entirely on to an historic c	ce of the build, from 1970-1	ling is strictly of 1985. For this	cosmetic), the	
								Я	
21.		a. b.	al Significance Ames Contribution Ames Compatible	e (C	Key structure/individu Contributing structure)	for the National R	egister)	
		C.	Ames Noncontri	outing (I	Not eligible/intrusion)			
	In Str	192 eet.	7 the building Because of the	was occupied e building's	l by Smith Jewel great facade alter	ry. In that ye ations, histori	ar they relocate ical significanc	ed to 212 Main te does not obtain.	
22	Son	Tre	(for primary and	l secondary so	nrces give complete	facts of public	ation: author titl	e, place of publication,	date, etc.
	DUM		(tot primar) and	2 Doordan, 50		or passage		, p	
		-							
	* A	DT	, August 1, 19	27, page 1.					
	parec	-		age, Public Hi			Date	Fall 1991	
-	iress			st Fourth Stree		A 50309	Telephone_	515/280-8026	
Org	aniz	atio	n The Dunbar/J	ones Partnersh	ip				
Fo	r	Of	fice of His	toric Pre	servation Us	e Only			
1.	[](Com	nformation Source ity Resource File	•	erty		nd Compliance Pa		
		Wind	Ishield Survey _			[] Other			
	111	ASTR	HIGH KCKISICI			[] Other			
	[]		ts-in-Aid:rmination of Elig	ibility .		[] Omer			
	111		inmiadon of Eng	ionity					
2.	Subj	ject '	Traces				3. Photo	Images	
8.				1,				-	
b.									
C.									
d.									
e.	-		·			***************************************			

Site Number	069	
District Name_		
Map Reference		

2. Village/Town/City AMES	1.	Site Name	COMMERCIAL BUI	LDING			
3. Street Address 226 MAIN STREET 4. Legal Location Urban: subdivision block parcel subparcel section of 1/4 se					HINGTON COL	inty STORY	
4. Legal Location Urban: Subdivision block parcel subparcel subpar	3	Street Address	226 MAIN STREET				
Urban: Rural: subdivision block parcel subparcel 1/4 section of 1/4 section 1/4 section of 1/4 section 1/4 section of 1/			MM 0 1121 1121 1 1 1 1 1 1 1 1 1 1 1 1 1 1				
6. Owner(s) Name 7. Owner(s) Address (Street address) (City) (State) (Zip) 8. Use: Present COMMERCIAL Original COMMERCIAL Description 9. Date of Construction: FACELIFT C. 1925(?)		Urban:					
6. Owner(s) Name 7. Owner(s) Address (Street address) (City) (State) (Zip) 8. Use: Present COMMERCIAL Original COMMERCIAL Description 9. Date of Construction: FACELIFT C. 1925(?) Suilding Type single-family dwelling industrial other institutional religious agricultural agricultural agricultural agricultural agricultural stucco there institutional agricultural agricultu	5	LITM Location: zone	easting	northing	: Acreage		
7. Owner(s) Address (Street address) (City) (State) (Zip) 8. Use: Present COMMERCIAL Original COMMERCIAL Description 9. Date of Construction: FACELIFT C. 1925(?) Architect/Builder 10. Building Type	6	Owner(s) Name			,		
(Street address) (City) (State) (Zip) 8. Use: Present	7	Owner(s) Address				······································	
Description 9. Date of Construction: _FACELIFT C. 1925(?)	**	Owner(b) / Ratioss	(Street address)	(City)	(State)	(Zip)
9. Date of Construction: _FACELIFT C. 1925(?) _ Architect/Builder 10. Building Type	8.	Use: Present	COMMERCIAL	Original_	COMMERCIA	AL .	
Building Type single-family dwelling industrial other institutional religious agricultural Impublic agricultural Impublic agricultural Impublic agricultural Impublic agricultural Impublic agricultural Impublic agricultural Impublic agricultural Impublic agricultural Impublic Impublic agricultural Impublic Impublic Impublic agricultural Impublic Imp	De	scription					
Building Type single-family dwelling industrial other institutional religious agricultural Impublic agricultural Impublic agricultural Impublic agricultural Impublic agricultural Impublic agricultural Impublic agricultural Impublic agricultural Impublic agricultural Impublic Impublic agricultural Impublic Impublic Impublic agricultural Impublic Imp	Q	Date of Construction	FACELIFT C 1925(2)	Architect/Builder			
11. Exterior walls:		Building Type [] single-family dwellin [] multiple-family dwe	ng [] industrial				
[X] masonry load-bearing walls [] iron frame [] steel frame with curtain walls [] reinforced concrete [] other [] other [] deteriorated [] deteriorated [] deteriorated [] Integrity: [X] original site [] movedif so, when? [] Notes on alterations, additions (with dates and architect, if known) and any other notable features of building and site:(see next page) [] Selated Outbuildings and Property: [] barn [] other farm structures [] carriage house [] garage [] privy [] other [] other [] Is the building endangered: [X] no [] yesif so, why? [] Surroundings of the building: [] open land [] woodland [] scattered outbuildings [] densely built-up [X] comment [] industrial [] residential [] other [] Photo looking [] S. Photographer [] Wirth [] Name [] Photo looking [] S. Photographer [] Wirth [] Name [] Photo looking [] S. Photographer [] Wirth [] Name [] Name [] Photo looking [] S. Photographer [] Wirth [] Name [] Na	11.	Exterior walls:			***************************************	ingles [] stucce	
14. Integrity: [X] original site [] movedif so, when? Notes on alterations, additions (with dates and architect, if known) and any other notable features of building and site:	12.	[X] masonry load-bearing	wood frame with interlocking walls iron frame	ing joints wood	I frame with light no with curtain walls	nembers (balloon fram	ne) rete
(see next page) 15. Related Outbuildings and Property: barn other farm structures carriage house garage privy other 16. Is the building endangered: [X] no yesif so, why? 17. Surroundings of the building: open land woodland scattered outbuildings densely built-up [X] commen industrial residential other S. Photographer Wirth	13. 14.	Integrity: [X] original:	site [] moved-if so, whe	en?		atures of building and	site:
16. Is the building endangered: [X] no [] yesif so, why? 17. Surroundings of the building: [] open land [] woodland [] scattered outbuildings [] densely built-up [X] comment [] industrial [] residential [] other [] S. Photographer Wirth	15.	Related Outbuildings an	t page)		•		
17. Surroundings of the building: [] open land [] woodland [] scattered outbuildings [] densely built-up [X] comment [] industrial [] residential [] other [] Photo looking [] S. Photographer [] Wirth	16	Is the building endanger	ed [X] no [] vec_if co	why?			
[] industrial [] residential [] other S. Photographer Wirth	10.	m an vanding chidanger	vii fyllio [] kez-it so	, """, "			
18. Map 19. Photo looking S Photographer Wirth	17.				l outbuildings []	densely built-up [X]	commercial
	18.	Мар		19. Photo le	ooking <u>S</u> Ph	otographer <u>Wirt</u>	h



Significance (Indicate sources of information	for all statements)		
20. Architectural Significance [] a. Ames Contributing (Key structure/indi [x] b. Ames Compatible (Contributing structure) [] c. Ames Noncontributing (Not eligible/intru		ational Register)	
	,		
See continuation sheet.	•		
			•
21. Historical Significance Theme(s)			
[] a. Ames Contributing (Key structure/indi [] b. Ames Compatible (Contributing structure) [] c. Ames Noncontributing (Not eligible/intru		ational Register)	
More historical research is required before this	building one be evaluated	for historical	i.
significance.	building can be evaluated	i for instortear	,
-			
22. Sources (for primary and secondary sources, give com	plete facts of publication: au	thor, title, place of pul	blication, date, e
22. Sources (for primary and secondary sources, give com	plete facts of publication: au	thor, title, place of pul	blication, date, e
Prepared by William C. Page, Public Historian	Date	Fall 1991	
Prepared by William C. Page, Public Historian Address 104 Southwest Fourth Street Des Moine	Date		
Prepared by William C. Page, Public Historian	Date_ es. IA 50309 Telep	Fall 1991	
Prepared by William C. Page. Public Historian Address 104 Southwest Fourth Street Des Moine Organization The Dunbar/Jones Partnership For Office of Historic Preservation 1. Office Information Sources on this Property	Date_ es. IA 50309 Telep	Fall 1991 hone 515/280-8	
Prepared by William C. Page. Public Historian Address 104 Southwest Fourth Street Des Moine Organization The Dunbar/Jones Partnership For Office of Historic Preservation 1. Office Information Sources on this Property [1] County Resource File	Date Es. IA 50309 Telep Use Only [] Review and Comp	Fall 1991 hone 515/280-8 liance Project:	026
Prepared by William C. Page. Public Historian Address 104 Southwest Fourth Street Des Moins Organization The Dunbar/Jones Partnership For Office of Historic Preservation 1. Office Information Sources on this Property [] County Resource File [] Windshield Survey [] National Register	Date Date Telep Use Only [] Review and Comp [] Other [] Other	Fall 1991 hone 515/280-8 liance Project:	026
Prepared by William C. Page. Public Historian Address 104 Southwest Fourth Street Des Moins Organization The Dunbar/Jones Partnership For Office of Historic Preservation 1. Office Information Sources on this Property [] County Resource File [] Windshield Survey [] National Register [] Grants-in-Aid:	Date Date Telep Use Only [] Review and Comp [] Other [] Other	Fall 1991 hone 515/280-8 liance Project:	026
Prepared by William C. Page. Public Historian Address 104 Southwest Fourth Street Des Moins Organization The Dunbar/Jones Partnership For Office of Historic Preservation 1. Office Information Sources on this Property [] County Resource File [] Windshield Survey [] National Register	Date Date Telep Use Only [] Review and Comp [] Other [] Other [] Other	Fall 1991 hone 515/280-8 liance Project:	026
Prepared by William C. Page. Public Historian Address 104 Southwest Fourth Street Des Moins Organization The Dunbar/Jones Partnership For Office of Historic Preservation 1. Office Information Sources on this Property [] County Resource File [] Windshield Survey [] National Register [] Grants-in-Aid:	Date Date Telep Use Only [] Review and Comp [] Other [] Other [] Other	Fall 1991 hone 515/280-8 liance Project:	026
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Iowa Site Inventory

Bureau of Historic Preservation Iowa State Department of Cultural Affairs Capitol Complex Des Moines, Iowa 50319

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Site Number	1. C. Al	61	
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CONTINUATION SHEET

Significance

20. Architectural Significance

This is a two-story, brick commercial building with a one-room wide facade. This building appears to have been designed prior to 1907 in association with that at 228 Main Street although the facade of 226 is somewhat wider. A 1907 photograph of the central business district shows, for example, these buildings sharing a common cornice design. Like its neighbor to the west, number 226 was face-lifted, possibly in the 1920s. It is this facade which obtains significance today.

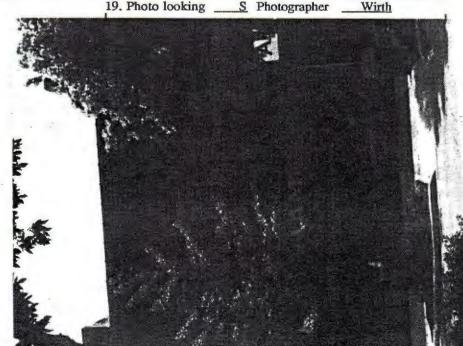
The building features red, dark red and tawny yellow colored brick. There is a high parapet above the second floor windows. This area is decorated with a brickworked plaque consisting of brick laid in a basket weave design. Tile coping caps the building. Windows on the second floor feature 1/1 double hung sash type windows. They appear to be alterations from the original 1920s design which, perhaps, resembled those at 228. Sills consist of brick laid obliquely and butting out. Other brick details provide architectural interest to the facade. These details include a band of soldier laid brick separated by other courses of brick above the second floor windows. This band ties into a similar one at 228. The first floor storefront has been totally altered with rough, vertical wood siding in a gable end design to unite 228 and 226 Main Street. Although this design is very distracting to the historical appearance of the building, the second floor retains much of its integrity from the 1920s.

This building is significant because it calls direct attention to the Face Lifts on Main movement, which swept Ames in the 'Teens, 1920s, and 1930s. The building could be contributing to an historic commercial district, particularly if the problem of the second floor windows can be addressed.



Site Number	070
District Name_	
Map Reference	

1.	. Site Name CO	MMERCIAL BUIL	DING			
2.	. Village/Town/City AM	ES	Township WAS	HINGTON Count	y STORY	
3.	. Street Address 228	MAIN STREET				
	Legal Location			-		
•	Urban: Rural:	subdivision township	block range	parcel section	subparcel 1/4 section of 1/4 section	
5.6.	. UTM Location: zone Owner(s) Name	easting	northing	; Acreage		
7.	. Owner(s) Address					
		(Street address)	(City)		(State)	(Zip)
8.	. Use: Present CO	MMERCIAL	Original_	COMMERCIAL		
De	escription					
9.	. Date of Construction: FAC	ELIFTED C. 1925(7)	Architect/Builder		*	
	Building Type Single-family dwelling multiple-family dwelling X commercial	[_] industrial		other institutional public	☐ religio	
11.	l. Exterior walls: [] clapbe] brick [] board and	l batten	gles stucco	*
12.	Structural System: [] wood [X] masonry load-bearing wa [] other	frame with interlocking iron frame	ng joints wood steel frame	frame with light me	mbers (balloon fram	ne) rete
13. 14.	3. Condition: [] excellent 4. Integrity: [X] original site	[] movedif so, when	?			_
	Notes on alterations, addition (see next page		tect, if known) and an	y other notable featu	res of building and	site:
15.	 Related Outbuildings and Pro other 	perty: [] barn []	other farm structures	carriage house	garage [] privy
16.	i. Is the building endangered:	[X] no [] yesif so,	why?			
17.	7. Surroundings of the building industrial res	composition is a contract to the contract is a contract in the	odland [] scattered ner	outbuildings [] de	nsely built-up [X]	commercial
18.	В. Мар		19. Photo lo	ooking <u>S</u> Photo	ographer Wirth	1



20. Architectural Significance				
[] a. Ames Contributing	(Key structure/individually may quality	fy for the National R	legister)	
[x] b. Ames Compatible	(Contributing structure)			
[] c. Ames Noncontributing	(Not eligible/intrusion)			
See continuation sheet.				
See continuation sheet				
21. Historical Significance The	eme(s)			
[] a. Ames Contributing	(Key structure/individually may qualit	y for the National R	egister)	
[] b. Ames Compatible	(Contributing structure)			
[] c. Ames Noncontributing	(Not eligible/intrusion)			
	needed to evaluate its historical si			
insurance maps from the 1920	Os, for example, identify this built	ding as a "Store	4	
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				٠
22. Sources (for primary and secondar	ry sources, give complete facts of publ	ication: author, titl	le, place of publication,	, da
22. Sources (for primary and secondar	ry sources, give complete facts of publ	ication: author, titl	le, place of publication,	, da
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	c Historian			, da
Prepared by William C. Page, Publi Address 104 Southwest Fourth	c Historian Street Des Moines, IA 50309	Date	Fall 1991	, da
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Iowa Site Inventory

Bureau of Historic Preservation Iowa State Department of Cultural Affairs Capitol Complex Des Moines, Iowa 50319

DIE HUIDE	Site Number	070
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CONTINUATION SHEET

Significance

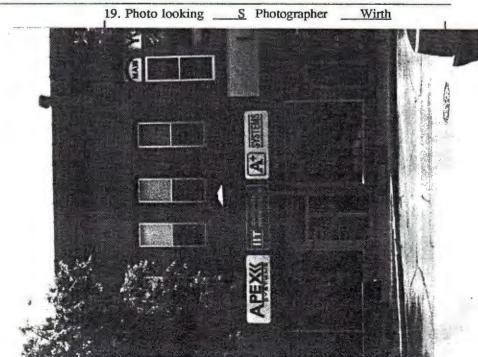
20. Architectural Significance

This is a two-story, brick commercial building with a one-room wide facade. This building appears to have been designed prior to 1907 in association with that at 226 Main Street, although that store front is somewhat wider than 228. A 1907 photograph of the central business district shows, for example, these buildings sharing a common cornice design. Like its neighbor, number 228 was face lifted, in this case probably in the 1920s. It is this facade which obtains significance today.

The building features red colored brick. There is a simple, brickworked cornice. Tile coping caps the building. Windows on the second floor feature 6/6 double hung sash type windows. They appear original to the 1920s. Sills consist of brick laid obliquely and butting out. Other brick details provide architectural interest to the facade. These details include a band of soldier laid brick separated by other brick courses laid above the second floor windows. The first floor storefront has been totally altered with rough, vertical wood siding in a gable end design to unite 228 and 226 Main Street. Although this design is very distracting to the historical appearance of the building, the second floor retains almost pristine integrity from the 1920s. For this reason, the building could be contributing to an historic commercial district.

This building is architecturally significant because it calls attention to the Face Lift on Main movement in Ames during the 1920s through the early 1940s.

Iowa Site Inventory Bureau of Historic Preservation 071 Iowa State Department of Cultural Affairs Site Number District Name Capitol Complex Des Moines, Iowa 50319 Map Reference Identification COMMERCIAL BUILDING 1. Site Name Township WASHINGTON County STORY AMES 2. Village/Town/City_ 230 MAIN STREET 3. Street Address 4. Legal Location Urban: subdivision block subparcel parcel 1/4 section of 1/4 section range 5. UTM Location: zone easting northing : Acreage 6. Owner(s) Name 7. Owner(s) Address: (Street address) (City) (State) (Zip) 8. Use: Present COMMERCIAL Original COMMERCIAL Description 9. Date of Construction: BET, 1896-1900* Architect/Builder JOHN COLE, BUILDER 10. Building Type single-family dwelling 1 other institutional [] industrial [] religious [] multiple-family dwelling [] education [] public [] agricultural [X] commercial 11. Exterior walls: []clapboard []stone [X] brick [] board and batten [] shingles stucco [] other 12. Structural System: [] wood frame with interlocking joints wood frame with light members (balloon frame) [X] masonry load-bearing walls [] iron frame steel frame with curtain walls [] reinforced concrete other 13. Condition: [] excellent [X] good [] fair deteriorated 14. Integrity: [X] original site [] moved--if so, when? Notes on alterations, additions (with dates and architect, if known) and any other notable features of building and site: (see next page) 15. Related Outbuildings and Property: [] barn [] other farm structures [] carriage house [] garage privy [] other 16. Is the building endangered: [X] no [] yes--if so, why? 17. Surroundings of the building: [] open land [] woodland [] scattered outbuildings [] densely built-up [X] commercial [] industrial residential [] other 18. Map S Photographer 19. Photo looking



Si	gnificance (Indicate sources of in	formation for al	l statements)			
20.	. Architectural Significance					
			y may qualif	y for the National R	egister)	
		iting structure)				
	[] c. Ames Noncontributing (Not elig	gible/intrusion)				
	See continuation sheet.					-
		*				
21.	. Historical Significance Theme(s)					ns. Wh
	[x] a. Ames Contributing (Key stru		y may qualif	y for the National R	egister)	
		ating structure)				
	[] c. Ames Noncontributing (Not elig	gible/intrusion)				
	J. Jacobs started the Fair Store in Ames					
	Valentine. The Fair Store was one of the	e lynch pins	of downto	wn Ames comm	nerce. Other	
	communities, like Albia, also had a Fair					
	like the Graham Stores, based in Ottum					
	Spurgeon's which had stores in Fairfiel	d, Grinnell, a	nd elsewh	ere. More rese	arch should be	
	undertaken to identify such a connection	n to strengthe	n the build	ling's historic si	gnificance.	
	The Octagon Center for the Arts publish					
	format in 1989. It shows the building b	efore the alte	rations of	the second floo	r windows at 232-	
	234 Main.					
22.	. Sources (for primary and secondary sources, a	give complete fa	acts of publi	cation: author, tit	le, place of publication, d	ate, etc
	* Sanborn Fire Insurance Maps for 1896 and 1	900.				
	Daniolin in angular visit in a solution in	, , , ,				
Pre	epared by William C. Page, Public Historian			Date	Fall 1991	
		es Moines, IA	50309	Telephone	515/280-8026	
	ganization The Dunbar/Jones Partnership	*** ********* ***				
F	or Office of Historic Preserva	ation Use	Only			
1.	Office Information Sources on this Property		[] Review	and Compliance P	roject:	
	[] County Resource File		-			-
	[] Windshield Survey		[] Other_			
	National Register		[] Other_			
	[] Grants-in-Aid:		[] Other_			
	[] Determination of Eligibility					
	ph.			3. Photo	Images	
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Iowa Site Inventory

Bureau of Historic Preservation Iowa State Department of Cultural Affairs Capitol Complex Des Moines, Iowa 50319

Site Number	071	

CONTINUATION SHEET

Significance

20. Architectural Significance

This is a two-story, brick commercial block with a one-room wide facade. This building stands in place in a 1911 fire insurance map of Ames. It was built in 1895 by John Cole, building contractor of Ames, for Joseph L. Budd. The building is associated with 232-234 Main Street because they share a common architectural design. The first floor was given over to The Fair Store, which featured dry goods and groceries. The Fair Store extended into 232-234 Main Street

This building features brick in a yellow color. The second floor contains a brickworked cornice with stylized brackets and parapets. A tile coping caps the facade. These architectural features are repeated on 232-234 Main Street. Second floor features four bays filled with 1/1 double hung sash type windows. Brick segmental arches are above the windows and cast concrete sills below. Although the first floor features an entirely new storefront, it respects the original storefront cavity and retains the I-beam lintel and cast iron columns which structurally support the second floor.

This commercial building and its association with the block at 232-234 Main Street constitute one of the finest commercial designs in the central business district. These buildings are significant for the breadth of their architectural design. The quality of its design and building materials suggests that it may have originally been constructed by the Masons to serve as their meeting hall, as well as an investment as rental property. This could be a key building in an historic commercial district.



Site Number	072	
District Name_		
Map Reference		

LLL	illiication.						
	Site Name						
2.	Village/Town/City	AMES	Township WAS	HINGTON Con	inty STORY		
3.	Street Address	232-234 MAIN STRE	ET				
4.	Legal Location						
	Urban: Rural:		block range	parcel section	subparcel 1/4 section of 1/4 section		
5	UTM Location: zone	easting	northing	: Acreage			
	1	(Street address)	(City)	(State)	(Zip)	
8.	Use: Present	COMMERCIAL	Original_	COMMERCIA	AL ·		
De	scription						
Q	Date of Construction	BET, 1896-1900*	Architect/Builder	OHN COLE, E	UILDER		
	Building Type						
	[] single-family dwell	ing [] industrial	[1	other institutional	religio	ns	
	[] multiple-family dw			public	agricul		
	[X] commercial	Citing Codecation		public	ugrica	· COLL COL	
11		clapboard [_] stone [X] brick [] board an	d hatten [] sh	ingles [] stucco		
11.	other	capocad [] stone	II OTTOM CI COMPONI				
				•		······································	
12.	Structural System: [] wood frame with interlocking joints [] wood frame with light members (balloon frame)						
		masonry load-bearing walls iron frame steel frame with curtain walls reinforced concrete					
	other						
12	Condition: [] ava	allant [V] good / []	fair [] datasions	tad			
1J.	Integrity [Y] original	ellent [X] good []	no?	icu			
ı~₽.	Integrity: [X] original site [_] movedif so, when?						
	(see ne		awo, a sawanj and a	ij outer notabie tea	mus or ounding and s	sid.	
15		nd Property: [] barn [lother farm structure	s [] carriage ho	ise [] garage []	privy	
~~*	other				T Smale [1 Kiral	
16.	Is the building endange	red: [X] no [] yesif so	o, why?				
17	Surroundings of the bu	ilding: [] open land [] w	roodland [] scattered	onthuildings []	densely built-up [X]	commercia	
		residential o					
18.	Мар		19. Photo le	ooking <u>S</u> Ph	otographer Wirth	<u> </u>	
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Significance (Indicate so	ources of information fo	r all statements)	bro.	
20. Architectural Significance			,	*P= 13	
[x] a. Ames Contributing	(Key structure/individ	ually may qualif	y for the National	Register)	
[] b. Ames Compatible	(Contributing structur				
[] c. Ames Noncontributing	(Not eligible/intrusion	n)			
See continuation sheet.					
See conuntation sheet.					
21. Historical Significance Then	ne(s)				
[x] a. Ames Contributing	(Key structure/individual	ually may qualif	y for the National I	Register)	,
[] b. Ames Compatible	(Contributing structur				
[] c. Ames Noncontributing	(Not eligible/intrusion	n)			
Fraternal orders played importa					
frequently constructed commer					
first floor was usually rented o					
over to a lodge hall. In this cas					
construction of this building. I					
in Nineteenth Century Ames.			vens m construc	cuon or the	
building on the northeast corne	r of Main and Ken	ogg.			
The Budd Building is historical	lly significant becau	rea it calls att	ention to the un	building of	
Main Street and its extension to					
significance because it calls atte	ontion to the econor	nic activities	of Town State for	oulty in the	
commercial life of Ames.	muon to the econor	me activities	OI IOWA SIAIC I	acuity in the	
Commercial fite of Ames.					
* Sanborn fire insurance maps for 1	896 and 1900.				
Prepared by William C. Page, Public	Historian		Date	Fall 1991	
Address 104 Southwest Fourth S		IA 50309	Telephone_	515/280-8026	
Organization The Dunbar/Jones Partne		30207	rotophone	2131300 0020	
Organization In Dunbanyones Largic	ASAMO				
For Office of Historic P	reservation U	se Only			
1. Office Information Sources on this Property		[] Review	and Compliance I	Project:	
[] County Resource File		F3.04			
[] Windshield Survey	_	[] Other_			
[] National Register	-	[] Other			
[] Determination of Eligibility	-	[] Onici_			
[] Documenton of Englosity	-				
			3. Photo	Images	,
2. Subject Traces					
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b					
c					
e					
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Bureau of Historic Preservation Iowa State Department of Cultural Affairs Capitol Complex Des Moines, Iowa 50319

Site Number 072	Site Number	072
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CONTINUATION SHEET

Significance

20. Architectural Significance

This is a two-story, brick commercial block with a two-room wide facade. This building was built, according to fire insurance map of Ames, between 1896 and 1900. The building is associated with 230 Main Street because they share a common architectural design. The first floor was given over to The Fair Grocery Store in one of the first floor commercial rooms. The Masonic Hall occupied the second floor, where they remained until their own building was completed on the corner of Douglas and 5th Street in 1916.

This building was built in 1895 for Professor Joseph L. Budd by John Cole, building contractor of Ames. Budd had this building constructed as an investment. A member of the Lodge, Budd's biography in the 1911 *History of Story County, Iowa* (Volume 2, page 261) says "He built and owned the home of Arcadia Lodge, No. 249, A. F. & A. M. in Ames. He took great delight in building operations and found extreme pleasure in erecting some large building, and thus contributing to the welfare and improvement of the city in which it was located."

This building features brick in a yellow color. The second floor contains a brickworked cornice with stylized brackets and small turrets. A tile coping caps the facade. These architectural features are repeated on 230 Main Street. Although the first floor features an entirely new storefront, it respects the original storefront cavity and retains the I-beam lintel and cast iron columns which structurally support the second floor. A brickworked pattern between the first and second floors is currently masked by the storefront sign. Signage at 230 Main allows this brickwork to show.

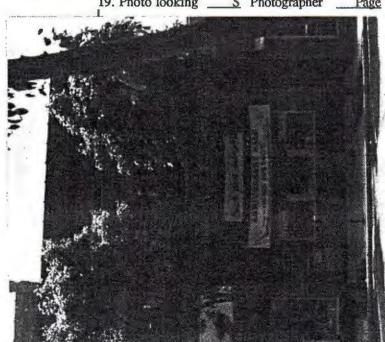
Second floor features three bays filled with Chicago style commercial windows. Although these windows have been infilled somewhat, they retain integrity of outline. The design of these windows is rare in the Ames commercial district and their preservation is strongly encouraged. These windows are unusual because of their large size. The windows break with the vertical feeling of standard upper level fenestration in Ames commercial design and are significant because of their rarity of use in Ames rather than as representative of the city's commercial design. Actually these windows are improvements to the building dating several years after construction of the building. An historic photograph, reproduced in post card format by the Octagon Center for the Arts, pictures this building prior to installation of the new windows.

Broadly conceived in its scope, this commercial block and its association with the building at 230 Main Street, constitute one of the finest commercial designs in the central business district. This block employs a rare window design in Ames. This block and its neighbor to the east could be key buildings in an historic commercial district. This block could be counted as two resources depending on historical information which might come to light.

Site Number	073
District Name_	-
Man Reference	

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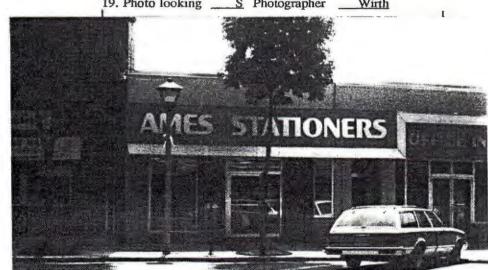
1.	Site Name	L, C. TALLMAN BU	ILDING			
2.	Village/Town/City	AMES	Township WAS	HINGTON Cou	nty STORY	
	Street Address	236 MAIN STREET				
	Legal Location					
	Urban; Rural:	subdivision township	block range	parcel	subparcel 1/4 section of 1/4 section	n
5.	UTM Location: zone	easting	northing	; Acreage		4
6.	Owner(s) Name		0			
	Owner(s) Address					
	4.14	(Street address)	(City	·)	(State)	(Zip)
8.	Use: Present	COMMERCIAL	Original	COMMERCIA	L ·	
De	scription					
9.	Date of Construction:	PRIOR TO 1907	Architect/Builder			
	Building Type [] single-family dwelli [] multiple-family dwelli [X] commercial Exterior walls: [] other	elling education clapboard stone		other institutional public shi	agric	cultural
12.	Structural System: []	wood frame with interlocking walls [] iron frame	ng joints [] wood	I frame with light me with curtain walls	nembers (balloon fra	me) crete
13	Condition: []exce	ellent [X] good [] f	fair [] deteriora	teri		
14.	Integrity: [X] original	site [] movedif so, when ditions (with dates and archi	n?		tures of building and	1 site:
15.	Related Outbuildings ar	nd Property: [] barn [] other farm structure	s [] carriage hou	se [] garage	_ privy
16.	Is the building endanger	ed: [X] no [_] yesif so.	, why?			
17.	Surroundings of the bui	ilding: [] open land [] we _] residential [] ot	oodland [] scattered		densely built-up [X] commercial
18.	Мар		19. Photo I	ooking <u>S</u> Pho	otographer Pag	e



20 Amabi	ance (Indicate ectural Significance	sources of information for all statemer	its)	
[] a. [] b.	Ames Compatible Ames Noncontributing	(Key structure/individually may qua (Contributing structure)	lify for the National Register)	
[X] C.	Ames Noncontributing	(Not eligible/intrusion)		
room facade	wide facade, historical	mmercial building. Although the ly the building's configuration had tated with 240 Main Street because	as been that of a one-roo	m
neces	sary to remove the secondaken to return it to ser	re caused extensive damage to the ond floor from this building. Advice. Because of great changes in historic commercial district.	ditional alterations were	also
				1
21 Ulstori	cal Significance T	heme(s)		
[] a. [] b.	Ames Contributing Ames Compatible Ames Noncontributing	(Key structure/individually may qua (Contributing structure) (Not eligible/intrusion)	lify for the National Register)	
Histor	rical significance does	not obtain for this building becan	use of its present condition	on.
22. Source	es (for primary and second	lary sources, give complete facts of pu	blication: author, title, place	of publication, date, etc
				_
-	y William C. Page. Pub			L 1991
Address	104 Southwest Fourt	h Street Des Moines, IA 50309		l 1991 //280-8026 -
Address		h Street Des Moines, IA 50309		
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Site Number	074
District Name_	
Map Reference	

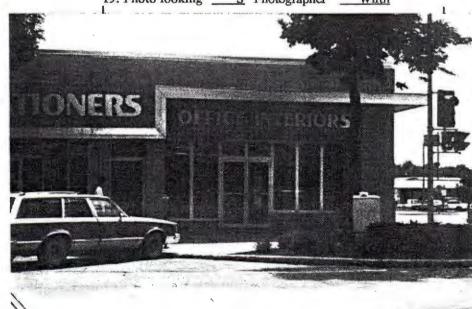
1.	Site Name	COMMERCIAL BUIL	LDING				
2	Village/Town/City	AMES	Township	WASHING	GTON Coun	ty STORY	
3.	Street Address	238 MAIN STREET					
4.	Legal Location						
••	Urban: Rural:	subdivision township	_	lock nge	parcel section	subparcel: 1/4 section of 1/4 section	ū
5. 6.	UTM Location: zone Owner(s) Name	easting	northing		; Acreage		
7.	Owner(s) Address						
	, ,	(Street address)		(City)		(State)	(Zip)
8.	Use: Present	COMMERCIAL	c	original CO	MMERCIA	L .	
De	escription						
Q	Date of Construction:		Architect/B	nilder			
	Building Type						
10.	isingle-family dwelling multiple-family dwe		٠	other publi	institutional c	[] relig [] agric	
11.	Exterior walls: [] other	clapboard [] stone []	[] brick []	board and batte	en [] shir	ngles [] stuce	20
12.	Structural System: [] [X] masonry load-bearin [] other	wood frame with interlocking walls iron frame	ng joints [] sta	wood frame	e with light me curtain walls	embers (balloon fra reinforced cor	une) icrete
12	Condition: []avea	llent [X] good [] f	inia aini	deteriorated			
		site [] movedif so, when		UCMARHARA			
1.4.	Notes on alterations, add	ditions (with dates and archi	tect, if know	n) and any oth	er notable feat	ures of building an	d site:
15.		d Property: [_] barn [_	other farm	structures [] carriage hous	e [] garage	☐ privy
16.		ed: [X] no [] yesif so	, why?				
17.		lding: [] open land [] w				ensely built-up [X] commercial
18.	Мар		19.	Photo looking	g S Pho	tographer Wi	rth .



20. Architectural Significance [] a. Ames Contributing (Ke	of information for all states	nents)		
	to about the district of the line		- ciatan)	
	y structure/individually may ntributing structure)	quanty for the National K	egister)	
	t eligible/intrusion)			
This is a one-story, brick commerci	al building. Although	the building now rea	ds as a two-	
room wide facade, historically the b				-
facade. It is presently associated wi	ith 240 Main Street bed	ause each of these b	uildings now	
shares a common design.	•	,	,	
On November 22, 1987 a fire cause	d avtanciva domoca to	this building It was	mhaamantl.	
necessary to remove the second floo				
undertaken to return it to service. B				
evaluated as an intrusion in an histo				
			1	
21. Historical Significance Theme(s)				
	y structure/individually may	qualify for the National R	egister)	
	ntributing structure) t eligible/intrusion)			
[11]				
		6 • .	10.0	
Historical significance does not obt	ain for this building be	cause of its present c	ondition.	
OO Comment (Commission and commission commission)				
22. Sources (for primary and secondary sour	ces, give complete facts of	publication: author, titl	e, place of publication, date	, etc
22. Sources (for primary and secondary sources)	ces, give complete facts of	publication: author, titl	e, place of publication, date	e, etc
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Site Number	075	
District Name_	*	
Man Reference		

1.	Site Name	AMES SAVINGS BA	ANK BUILDING		
2.	Village/Town/City	AMES	Township WAS	HINGTON Cou	inty STORY
3.	Street Address	240 MAIN STREET		i v	
4.	Legal Location				•
	Urban: Rural:		block	parcel	subparcel 1/4 section of 1/4 section
5.	UTM Location: zone	easting	northing	; Acreage	
		<u> </u>			
	Owner(s) Address				
		(Street address)	(City).	(State) (Zip)
8.	Use: Present			COMMERCIA	NL .
De	scription				
9.	Date of Construction:	1913	Architect/Builder_		
10.	Building Type [] single-family dwell [] multiple-family dwell [X] commercial	ing [] industrial elling [] education		other institutional public	agricultural
11.		clapboard [] stone [X] brick [] board an	d batten [] shi	ingles [] stucco
12.	[X] masonry load-beari	wood frame with interlock ng walls [] iron frame	ing joints [] wood	d frame with light me with curtain walls	nembers (balloon frame)
13	Condition: Lexce	ellent [X] good []	fair [] deteriora	ted	
14.	Integrity: [X] original	site [] moved-if so, who ditions (with dates and arch	en?		tures of building and site:
15.		nd Property: [] barn [_] other farm structure	es [] carriage hou	se [] garage [] privy
16.		red: [X] no [] yesif so	o, why?		
17.	Surroundings of the bu [] industrial		voodland [] scattered		densely built-up [X] commercial
18.	Мар		19. Photo I	ooking <u>S</u> Pho	otographer Wirth



	es of information for all statements))		
20. Architectural Significance	_ :			
[] a. Ames Contributing (I	Key structure/individually may qualif	y for the National R	egister)	
	Contributing structure)			
[x] c. Ames Noncontributing (I	Not eligible/intrusion)			
21. Historical Significance Theme(s	()			_
	Key structure/individually may qualif	y for the National R	egister)	
	Contributing structure)			1
[x] c. Ames Noncontributing ()	Not eligible/intrusion)			
The Ames Savings Bank was esta	blished in 1903 by A. I. Gran	ves and Milo M	anning It	
occupied when first constructed,				
at the intersection of Kellogg and				
		i uns microccuo	II HAVE DEEH	
occupied historically by bank buil	dings.			
ere 11.1 c.1 1 11.1			* <u>9</u>	
The present condition of the build	ing precludes any claim to his	storical significa	nce.	
94			4	
Prepared by William C. Page, Public Hi	storian	Date	Fall 1991	-
Address 104 Southwest Fourth Street		Telephone	515/280-8026	
Organization The Dunbar/Jones Partnersh				
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For Office of Historic Pre	servation Use Only			
1. Office Information Sources on this Prop	erty [] Review	and Compliance P	roject	
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[] Windshield Survey				
[] National Register				
[] Grants-in-Aid:	[] Ould_			
[] Determination of Engiothty				
•		3. Photo	Images	
2. Subject Traces				
a				
b				******
C				
d			**************************************	
e				-
·				

Bureau of Historic Preservation Iowa State Department of Cultural Affairs Capitol Complex Des Moines, Iowa 50319

Site Number	075	
DIO I TOME	010	-

CONTINUATION SHEET

Significance

20. Architectural Significance

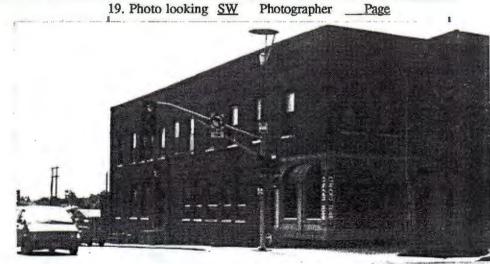
This is a one-story, brick commercial building with a one-room wide facade. It is presently associated with 238 Main Street because each of these buildings shares a common design.

In 1913 this building was constructed from designs by Liebbe, Nourse and Rasmussen, architects of Des Moines. This was one building among a handful designed by the firm in Ames. Others include the 1900-1901 President's House "The Knoll", 1910 Landscape Architecture Building, the 1901 Emergency Hall (Liebbe), and the 1900 Stock Pavilion (aka Theatre Building), all on the ISU campus. Other LNR designs included the Masonic Temple of 1916, Mary Greeley Hospital also of that year, and possibly the extensive renovations of the Wallace and Mary Greeley House on the corner of Douglas and 5th.

On November 22, 1987, a fire in this building caused extensive damage. It was subsequently necessary to the remove the second floor from this building. Additional alterations to the building were also undertaken to return it to service. Because of great changes in appearance, this building is evaluated as an intrusion in an historic commercial district.

Site Number	076
District Name_	
Man Reference	

1.		ADAMS GROCERY	STORE-CC	MMERCI	AL SAVIN	GS BANK		
		AMES	Township_	WASHIN	VGTON Co	unty STO	DRY	
	Street Address	300 MAIN STREET					-	
	Legal Location				,			
	Urban: Rural:	subdivision township		lock nge	parcel section	subparce 1/4 section of		
	UTM Location: zone Owner(s) Name		northing		; Acreage _			
7.	Owner(s) Address	(Street address)		(City)		(S	tate)	(Zip)
8.	Use: Present	COMMERCIAL	o	riginal_C(OMMERCI	AL	`	
De	escription							
9.	Date of Construction:	BET, 1900-1911*	_Architect/Bu	uilder				
10.	Building Type single-family dwelling multiple-family dwell X commercial	g [] industrial [] education	X] brick [] 1	pub		, •	religi agrici	ultural
12.	Structural System: [] w [X] masonry load-bearing [] other	vood frame with interlocking walls [_] iron frame			ne with light in the curtain wall			
		ite [] movedif so, whe tions (with dates and arch	n?		her notable fe	atures of buil	ding and	site:
	(see next							
	Related Outbuildings and [] other			tructures [carriage ho	use [] gar	age [_] privy
16.	Is the building endangered	i: [X] no [] yes-if so	, why?					
17.	Surroundings of the build industrial	ling: _ open land _ w residential _ o	coodland []:	scattered outl	buildings []	densely buil	t-up [X]	commerci
18.	Мар		19.	Photo lookii	ng <u>SW</u> Pt	otographer	Page	2



20. Architectural Significance	
	ey structure/individually may qualify for the National Register)
	ontributing structure) Not eligible/intrusion)
[] c. Ames noncontrouning (In	ot engineration)
See continuation sheet.	
21. Historical Significance Theme(s))
	ey structure/individually may qualify for the National Register)
	ontributing structure) lot eligible/intrusion)
This building (and its associated by	uilding at 302) is historically significant because its
	11 calls attention to the upbuilding of the 300 block of
	ion, the south side of this block was largely vacant and
	ixeda dwelling and a vacant lumber yard"buildings not
	nsurance map). When 300 and 302 were constructed, they
	rner and encouraged further construction to the west.
A	
22. Sources (for primary and secondary sou * Sanborn fire insurance maps for 1900 a	and 1911.
* Sanborn fire insurance maps for 1900 a	and 1911.
* Sanborn fire insurance maps for 1900 a Prepared by William C. Page, Public Hist Address 104 Southwest Fourth Street	and 1911. Storian Date Fall 1991 1 Des Moines, IA 50309 Telephone 515/280-8026
* Sanborn fire insurance maps for 1900 a	and 1911. Storian Date Fall 1991 1 Des Moines, IA 50309 Telephone 515/280-8026
* Sanborn fire insurance maps for 1900 a Prepared by William C. Page, Public Hist Address 104 Southwest Fourth Street Organization The Dunbar/Jones Partnership	and 1911. storian Date Fall 1991 t Des Moines, IA 50309 Telephone 515/280-8026 p
* Sanborn fire insurance maps for 1900 a Prepared by William C. Page, Public Hist Address 104 Southwest Fourth Street Organization The Dunbar/Jones Partnership	and 1911. storian Date Fall 1991 t Des Moines, IA 50309 Telephone 515/280-8026 p
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* Sanborn fire insurance maps for 1900 a Prepared by William C. Page. Public Hist Address 104 Southwest Fourth Street Organization The Dunbar/Jones Partnership For Office of Historic Pres 1. Office Information Sources on this Prope [] County Resource File	and 1911. Storian Date Fall 1991 1 Des Moines, IA 50309 Telephone 515/280-8026 p Servation Use Only erty [] Review and Compliance Project:
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* Sanborn fire insurance maps for 1900 a Prepared by William C. Page. Public Hist Address 104 Southwest Fourth Street Organization The Dunbar/Jones Partnership For Office of Historic Pres 1. Office Information Sources on this Prope [] County Resource File [] Windshield Survey [] National Register [] Grants-in-Aid: [] Determination of Eligibility	and 1911. Storian Date Fall 1991 It Des Moines, IA 50309 Telephone 515/280-8026 Deservation Use Only Servation Use Only [] Review and Compliance Project: [] Other [] Other [] Other [] Other
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* Sanborn fire insurance maps for 1900 a Prepared by William C. Page. Public Hist Address 104 Southwest Fourth Street Organization The Dunbar/Jones Partnership For Office of Historic Pres 1. Office Information Sources on this Prope [] County Resource File [] Windshield Survey [] National Register [] Grants-in-Aid: [] Determination of Eligibility 2. Subject Traces	and 1911. Storian Date Fall 1991 It Des Moines, IA 50309 Telephone 515/280-8026 Deservation Use Only Entry [] Review and Compliance Project: [] Other [] Other [] Other

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Bureau of Historic Preservation Iowa State Department of Cultural Affairs Capitol Complex Des Moines, Iowa 50319

Cita Number	076	
Site Number	0/0	

CONTINUATION SHEET

Significance

20. Architectural Significance

This is a two-story, brick commercial building with a one-room wide facade. Constructed between 1900 and 1911, this building may have been built at the same time and in conjunction with 302 Main. Both commercial rooms share, for example, hollow tile load bearing walls. 300 retains a high level of architectural integrity. The second floor windows appear to be original and feature 1/1 double hung sash. The building has a cornice with "I" motifs worked in brick. Brick is a mottled maroon and brown color. As noted below, later improvements to the building were undertaken to convert it into a bank. These improvements included installating cast concrete elements on the storefront and replacing the beveled corner of the building with a right angle design.

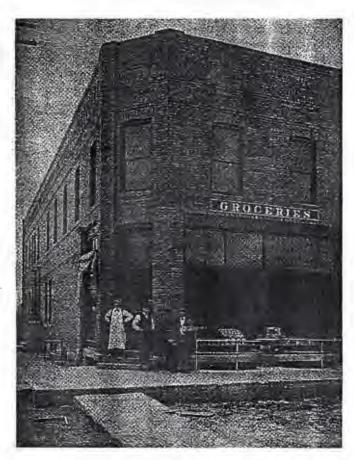
Prior to remodeling in 1920, this building served as Adams Grocery Store. A picture of this building is featured on page 72 of Ames Community History. In 1920 E. J. Engeldinger and M. A. Manning, bank officers of the Commercial Savings Bank, purchased this building and proceeded to remodel it into a new home for the bank. Although leaving the second story virtually intact, the alterations substantially improved the building. These improvements included the introduction of cast concrete decorative trim.

In a 1921 feature story, the *Ames Daily Tribune* reported: "An unusal feature of the interior bank arrangement is the room for the bookkeeping department...The vault accommodations are commodious and designed to allow the maximum of efficiency..."

This building is significant because its original construction calls attention to a straight forward, simple, and no-nonsense commercial design which derives architectural interest from subtle elements like varied colors of brick, a restrained cornice, and stringcourses. This building is also significant architecturally because its remodeling in 1920 calls attention to the use of cast concrete in the central business district. The use of this material in the remodeling of 1920 resembles a similar use on Liebbe, Nourse, and Rasmussen's Masonic Temple at the corner of 5th and Douglas.

Site Number	076	

CONTINUATION SHEET

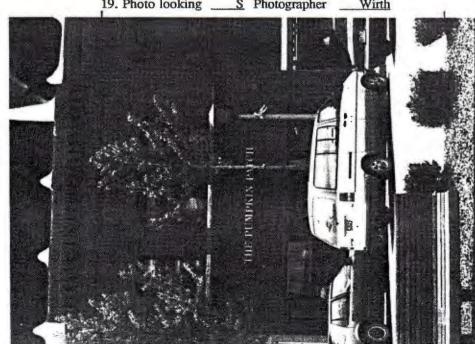


Adams Grocery Store (Before Remodeling)

Site Number	077	
District Name_		
Man Reference		

		~			
14	OT	tifi	CO	1710	717
ш	СП	ши	va	ш	J11

1.	Site Name	COMMERCIAL BUI	LDING			
2.	Village/Town/City	AMES	Township WASH	IINGTON Co	unty <u>STORY</u>	
3.	Street Address	302 MAIN STREET			· · · · · · · · · · · · · · · · · · ·	
4.	Legal Location					
	Urban: Rural:	subdivision township	block	parcel section	Subparcel 1/4 section of 1/4 section	
6.	Owner(s) Name	easting		; Acreage		
7.	Owner(s) Address	(Street address)	(City)	*	(State)	(Zip)
		(Street address)	•			(xap)
8.	Use: Present	COMMERCIAL	Original	COMMERCI	AL	
De	scription					
10.	Building Type [] single-family dwell [] multiple-family dwell [X] commercial			other institutional ublic hatten] sh	agricul	tural
12.		wood frame with interlocking walls [] iron frame				
	Integrity: [X] original	ellent [X] good [] site [] movedif so, whe ditions (with dates and arch	n?		atures of building and s	ite:
15.		nd Property: [] barn [other farm structures	carriage ho	ouse [] garage []	privy
16.	Is the building endanger	red: [X] no [] yesif so	, why?			······································
17.		ilding: [] open land [] w _] residential [] o		outbuildings []	densely built-up [X]	ommerci
18.	Мар		19. Photo loo	king S Pl	notographer Wirth	



	lly may qualify for the National Register)	
[] b. Ames Compatible (Contributing structure [] c. Ames Noncontributing (Not eligible/intrusion		
[] c. This lines are a second and a second a		
See continuation sheet.		_
oo condition shoe.		
21. Historical Significance Theme(s)		
	lly may qualify for the National Register)	
[] b. Ames Compatible (Contributing structure [] c. Ames Noncontributing (Not eligible/intrusion		
For many years this building housed Eschbach's M	usic House which featured phonogram	oh '
records (with listening booths), pianos, radios, stri	ng and band instruments, sheet music	, and
other music related merchandise. Music lessons w	ere also given from this store.	
This building (and its associated building to the we	et) is historically significant because it	g
construction between 1900 and 1911 calls attention		3
Main Street. Prior to its construction, the south sid		
what buildings stood here were mixeda dwelling	and a vacant lumber yard "buildings	not
in use" (according to a 1900 fire insurance map). V		
constructed, they provided a major anchor to this co	orner and encouraged further construct	tion
to the west.		
22. Sources (for primary and secondary sources, give complete	facts of publication: author, title, place of p	sublication, date, etc
* Sanborn fire insurance maps.		_
	Date Fall 199	· ·
Prepared by William C. Page, Public Historian Address 104 Southwest Fourth Street Des Moines, IA		
Prepared by William C. Page, Public Historian		
Prepared by William C. Page, Public Historian Address 104 Southwest Fourth Street Des Moines, IA	50309 Telephone 515/280	
Prepared by William C. Page. Public Historian Address 104 Southwest Fourth Street Des Moines. I/ Organization The Dunbar/Jones Partnership For Office of Historic Preservation Us 1. Office Information Sources on this Property	50309 Telephone 515/280	
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Prepared by William C. Page. Public Historian Address 104 Southwest Fourth Street Des Moines. I/ Organization The Dunbar/Jones Partnership For Office of Historic Preservation Us 1. Office Information Sources on this Property [] County Resource File [] Windshield Survey [] National Register	e Only [] Review and Compliance Project:	-8026
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Prepared by William C. Page. Public Historian Address 104 Southwest Fourth Street Des Moines. I/ Organization The Dunbar/Jones Partnership For Office of Historic Preservation Us 1. Office Information Sources on this Property [] County Resource File [] Windshield Survey [] National Register	Telephone 515/280 e Only [] Review and Compliance Project: [] Other [] Other [] Other [] Other [] Other	-8026
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Prepared by William C. Page. Public Historian Address 104 Southwest Fourth Street Des Moines. I/ Organization The Dunbar/Jones Partnership For Office of Historic Preservation Us 1. Office Information Sources on this Property [] County Resource File [] Windshield Survey [] National Register [] Grants-in-Aid: [] Determination of Eligibility 2. Subject Traces a	e Only [] Review and Compliance Project: [] Other [] Other [] Other 3. Photo Images	-8026
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(Indicate sources of information for all statements)

Significance

Bureau of Historic Preservation Iowa State Department of Cultural Affairs Capitol Complex Des Moines, Iowa 50319

Site Number	077	
OTE MINITER	UII	

CONTINUATION SHEET

Significance

20. Architectural Significance

This is a two-story, brick commercial building with a one-room wide facade. The building features brick of a dark brown color, a brickworked cornice with stylized dentils somewhat similar to 230 and 232-234 Main, three brickworked plaques, and segmental arches above the second-story windows. These windows are 1/1 double hung sash type. Although they may not be the original windows, the present configuration is similar to the original one. The sills of these windows are cast concrete with rough-faced stone texture. The sills connect with a horizontal inset band of similar material. Although the first-floor storefront is a total alteration, it appears to respect the original cavity area. The transom is covered with material which extends above the original cavity, but original fabric may remain behind this covering.

This building is significant because it represents an early example of a structure influenced by the commercial style of architecture.

Site Number	078	
District Name_		
Man Reference		

IGE	nuncation					
1.	Site Name	COMMERCIAL BUIL	DING			
2.	Village/Town/City	AMES		ASHINGTON CO	ounty STORY	
3.	Street Address	304-306 MAIN STREI	ET			
4.	Legal Location					
	Urban:	subdivision township	block	parcel section	subparcel 1/4 section of 1/4 section	
5.	UTM Location: zone	easting	northing	; Acreage		
		0				
	Owner(s) Address					
		(Street address)	· (C	•	(State)	(Zîp)
8.	Use: Present	COMMERCIAL	Origin:	a COMMERC	IAL	
De	scription					
9	Date of Construction:	BET. 1920-1926*	Architect/Builder			
	Building Type					
LU.	single-family dwelli	ing [] industrial		other institutions	al [] religi	OHS
	multiple-family dwell			public	agrica	
	[X] commercial	Simile Constitution		LI Paone		
11		clapboard [] stone [X	brick board	and hatten []s	shingles [] stucce)
	other					
17	Structural System: []	wood frame with interlocking	o ioints [] w	od frame with light	members (balloon fran	ne)
14.		ng walls iron frame		me with curtain wal	ls [] reinforced cond	rete
	other	ing wants	SWOLITE	ine with curemin was	is	a cuc
10		N-4 (97) E F 7 (t. r. matat.			
	Condition:			ланси		
14.	Notes as alterations and	site [] movedif so, when ditions (with dates and archit	loot if Irnovan) and	any other notable fo	notires of building and	nitae
			ect, ii known) and	any omer notable in	eatures or ounding and	site:
16	Related Outbuildings of		ather form atm	man [] comings L	anna flancas f	1 mair-
1).	Related Outbuildings at	nd Property: barn	ouser farm struct	ires 📋 carriage n	ouse garage [_] privy
16.		red: [X] no [] yesif so,	why?			
			-			
17,		ilding: open land wo] residential otl	odland scatter	rea outbuildings	densely built-up [X]	commercia
18.	Map		19. Photo	looking <u>SW</u> P	hotographer Wirt	h
	_	consequently of the con-	Anador a good and and add and the addition for	ng dilangs on destroyments to all in	- if four caseling to compare graph compare graphs	



	arces of information for all statements)
0. Architectural Significance [x] a. Ames Contributing [] b. Ames Compatible [] c. Ames Noncontributing	(Key structure/individually may qualify for the National Register) (Contributing structure) (Not eligible/intrusion)
See continuation sheet.	
1. Historical Significance Them [x] a. Ames Contributing [] b. Ames Compatible [] c. Ames Noncontributing	(Key structure/individually may qualify for the National Register) (Contributing structure) (Not eligible/intrusion)
Main Street. Construction during of the central business district in transformation calls attention to	nuse it calls attention to the upbuilding of the 300 block of ing the 1920s, in particular, changed the image of this portion into an upscale section of downtown Ames. This the booming Ames economy during the period and ness opportunities which it presented.
This resource might be counted two separate and significant but	as two buildings if the commercial usage of the building has sinesses.
2. Sources (for primary and secondary	sources, give complete facts of publication: author, title, place of publication, date, et
* Sanborn fire insurance maps for 19	20 and 1926.
repared by William C. Page. Public ddress 104 Southwest Fourth St	Historian Date Fall 1991 reet Des Moines, IA 50309 Telephone 515/280-8026
repared by William C. Page. Public ddress 104 Southwest Fourth St	Historian Date Fall 1991 reet Des Moines, IA 50309 Telephone 515/280-8026
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repared by William C. Page, Public address 104 Southwest Fourth Starganization The Dunbar/Jones Partner For Office of Historic Public Office Information Sources on this Presentation	Historian Date Fall 1991 reet Des Moines, IA 50309 Telephone 515/280-8026 reservation Use Only
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Bureau of Historic Preservation Iowa State Department of Cultural Affairs Capitol Complex Des Moines, Iowa 50319

Site Number 078	_
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CONTINUATION SHEET

Significance

20. Architectural Significance

This is a two-story, brick commercial block with a two-room wide facade. It features red brick with trim in a red and tawny brown color. A plaque area near the building's parapet defines each of the commercial rooms and a third plaque is situated at the central portion of the building. These plaques are defined by brick inset from the face of the facade and laid butt ended. Below this there is a three course Flemish bond band with the butt ended brick in a brown color and the stretcher brick in a red color. Each commercial room has, on the second floor, a pair of Chicago style windows. These relate in feeling to those which were installed at 232-234 Main Street. A newer metal coping now caps the building. Although the first floor storefront is totally altered now, it respects the original cavity of the building. The covering in the transom area may only hide original Luxfer type glass.

This building is significant because it calls attention to the commercial style of architecture in Ames. Notable in this regard are the two sets of Chicago style windows on the second floor and the complex patterns and textures of the facade achieved through a variety of brickwork. This is an outstanding building in the central business district with particularly rich architectural detailing. The building also retains considerable integrity of its historic fabric.

The complexity of the facade design suggests the planning of a professional architect.

Iowa Site Inventory Bureau of Historic Preservation 079 Iowa State Department of Cultural Affairs Site Number Capitol Complex District Name Des Moines, Iowa 50319 Map Reference Identification COMMERCIAL BUILDING 1. Site Name Township WASHINGTON County STORY **AMES** 2. Village/Town/City 308 MAIN STREET 3. Street Address 4. Legal Location Urban: subdivision block parcel subparcel 1/4 section of 1/4 section range anction 5. UTM Location: zone northing easting ; Acreage 6. Owner(s) Name 7. Owner(s) Address (Street address) (City) (State) (Zip) 8. Use: Present COMMERCIAL Original COMMERCIAL Description 9. Date of Construction: BET. 1911-1920* Architect/Builder 10. Building Type [] single-family dwelling other institutional [] religious [] industrial multiple-family dwelling [] education [] public [] agricultural [X] commercial 11. Exterior walls: [] clapboard [] stone [X] brick [] board and batten [] shingles [] stucco other 12. Structural System: [:] wood frame with interlocking joints wood frame with light members (balloon frame) X masonry load-bearing walls I liron frame [] steel frame with curtain walls [] reinforced concrete [] other 13. Condition: [] excellent [X] good [] fair [] deteriorated 14. Integrity: [X] original site [] moved-if so, when? Notes on alterations, additions (with dates and architect, if known) and any other notable features of building and site: (see next page) privy other 16. Is the building endangered: [X] no [] yes--if so, why? 17. Surroundings of the building: [] open land [] woodland [] scattered outbuildings [] densely built-up [X] commercial [] industrial [] residential other 18. Map 19. Photo looking Photographer Photo Unavailable

	es of information for all statements)
20. Architectural Significance	Key structure/individually may qualify for the National Register)
	Contributing structure)
[] c. Ames Noncontributing (I	Not eligible/intrusion)
See continuation sheet.	
21. Historical Significance Theme(s)
	Key structure/molvidually may qualify for the ivalional Register) Contributing structure)
	Not eligible/intrusion)
This building (and its associated b	building at 310) is historically significant because its
construction between 1911 and 19	920 calls attention to the upbuilding of the 300 block of
	ade of the Twentieth Century, the south side of this block
was largely vacant and what build	lings stood here were mixed—a dwelling and a vacant
lumber yard"buildings not in us	e" (according to a 1900 fire insurance map). When 308
district as an "up-and-coming" se	they helped define this portion of the central business
district as an up-and-conting se	CHOII.
22. Sources (for primary and secondary so	ources, give complete facts of publication: author, title, place of publication, date, etc
* Carle and Gar in common many for 1011	and 1000
* Sanborn fire insurance maps for 1911	and 1920.
Prepared by William C. Page, Public Hi	storian Date Fall 1991
Address 104 Southwest Fourth Street	
Organization The Dunbar/Jones Partnersh	
For Office of Historic Pre	servation Use Only
1. Office Information Sources on this Pror	perty [] Review and Compliance Project:
[] County Resource File	
[] Windshield Survey	[] Other
[] National Register	[] Other
[] Grants-in-Aid: [] Determination of Eligibility	[] Other
2 Subject Traces	3. Photo Images
2. Subject Traces	
a	
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Bureau of Historic Preservation Iowa State Department of Cultural Affairs Capitol Complex Des Moines, Iowa 50319

Site Number	79	
O 200 2 1 0222 0 002		

CONTINUATION SHEET

Significance

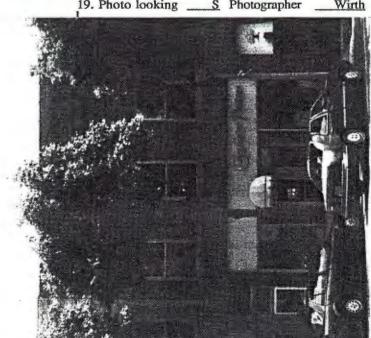
20. Architectural Significance

This is a two-story, brick commercial building with a one-room wide facade. It is associated with 310 and both buildings appear to have been built at the same time. They share a common entrance to the second floor located between the two buildings. 308 features brick of a tawny yellow and reddish color. The second floor has an exceptionally large plaque area beneath the parapet. It is brickworked in a checkerboard pattern and features the two colors of brick already mentioned. The second floor also has 1/1 double hung sash type windows. The sills of these windows break with the common horizontal which all second floor window sills share from 300 to 306 Main. Although the storefront area is totally altered, it respects the original cavity of the building. The metal grillwork above the storefront dates from the 1950s or later. Although it distracts from the over-all simplicity of the Ames central business district, it does not impair the integrity of the building.

This building is significant because it calls attention to the commercial style of architecture as constructed in Ames. The rather simple conception of the facade suggests its design by a local contractor-builder rather than an architect. The building is also significant architecturally because it demonstrates the trend in Ames during the period to differentiate between commercial rooms even when they are built as commercial blocks. The use of one color brick at 308 and another color brick at 310 dramatically points this out. Because these buildings were constructed in tandom and at the same time, they point out that the desire to differentiate was not restricted to property owners who face lifted their buildings.

Site Number	080	
District Name_		
Map Reference		

	TILLIAN COL						
1.	Site Name	COMMERCIAL BUIL	DING				
2.	Village/Town/City	AMES	Township	WASHING	TON County	STORY	
	Street Address	310 MAIN STREET	•				
4.	Legal Location						
	Urban: Rural:	subdivision township	blo	ock ge	parcel su section 1/4	bparcel section of 1/4 section	1
		easting			Acreage		, , , , , , , , , , , , , , , , , , ,
7.	Owner(s) Address						
		(Street address)		(City)		(State)	(Zip)
8.	Use: Present	COMMERCIAL	Oı	iginal COM	IMERCIAL		
De	scription						
10.	Building Type single-family dwelling multiple-family dwe X commercial			other i		☐ relig ☐ agric	ultural
	Structural System:	wood frame with interlocking walls [] iron frame	ng joints [] wood frame	with light memb	ers (balloon fra	me)
	other				•		
	Condition: [] exce. Integrity: [X] original Notes on alterations, add (see nex	site [] movedif so, when litions (with dates and archi	1?	eteriorated and any other	notable features	of building and	l site:
	Related Outbuildings an	d Property: [] barn [_		ructures []	carriage house	garage [_] privy
16.	Is the building endanger	ed: [X] no [] yes-if so,	why?				
	-	lding: [] open land [] we	odland [] s	cattered outbuil	dings dense	ly built-up [X]	commercial
18.	Man		19. 1	Photo looking	S Photogra	apher Win	th



	sources of information for all statements))	
20. Architectural Significance [] a. Ames Contributing [x] b. Ames Compatible [] c. Ames Noncontributing	(Key structure/individually may qualify (Contributing structure) (Not eligible/intrusion)	y for the National F	Register)
See continuation sheet.			
[] a. Ames Contributing [x] b. Ames Compatible [] c. Ames Noncontributing This building (and its associate construction between 1911 and Main Street. During the first was largely vacant and what blumber yard"buildings not it"	(Key structure/individually may qualify (Contributing structure) (Not eligible/intrusion) ted building at 308) is historically at 1920 calls attention to the upbut decade of the Twentieth Century, buildings stood here were mixed-in use" (according to a 1900 fire in ed, they helped define this portion."	significant becaliding of the 30, the south side and adwelling and assurance map).	ause its 00 block of of this block a vacant When 308
Sources (for primary and secondary secondary) Sanborn fire insurance maps for	1911 and 1920.		
	Street Des Moines, IA 50309	Date Telephone	Fall 1991 515/280-8026
For Office of Historic 1. Office Information Sources on this [] County Resource File [] Windshield Survey [] National Register [] Grants-in-Aid:	Preservation Use Only Property [] Review	and Compliance F	Project:
[] Determination of Eligibility		3. Photo	Images
a. b. c. d. e.			

Bureau of Historic Preservation Iowa State Department of Cultural Affairs Capitol Complex Des Moines, Iowa 50319

Site Number	080	
DIECTARRIDGE	000	

CONTINUATION SHEET

Significance

20. Architectural Significance

This is a two-story, brick commercial building with a one-room wide facade. It is associated with the commercial room at 308, and both buildings appear to have been built in tandom and at the same time. The building at 310 features brick in a deep maroon color. There is a brickworked cornice with stylized dentils. The building also contains a brickworked plaque. Second floor windows are 1/1 double hung sash type. The sills of these windows are roughfaced cast concrete similar to those employed at 302. Although the storefront has been altered, it respects the original cavity of the opening.

This building is significant because it calls attention to the commercial style of architecture as constructed in Ames. The rather simple conception of the facade suggests its design by a local contractor-builder rather than an architect. The building is also significant architecturally because it demonstrates the trend in Ames during the period to differentiate between commercial rooms even when they are built as commercial blocks. The use of one color brick at 308 and another color brick at 310 dramatically points this out. Because these buildings were constructed in tandom and at the same time, they point out that the desire to differentiate was not restricted to property owners who face lifted their buildings.

Iowa Site Inventory Bureau of Historic Preservation 081 Site Number Iowa State Department of Cultural Affairs Capitol Complex District Name Des Moines, Iowa 50319 Map Reference Identification ROBERTSON BUILDING 1. Site Name Township WASHINGTON County STORY AMES 2. Village/Town/City 312-314 MAIN STREET Street Address 4. Legal Location Urban: parcel subdivision block subparcel Rural: township range section 1/4 section of 1/4 section 5. UTM Location: zone easting northing : Acreage 6. Owner(s) Name 7. Owner(s) Address (City) (Street address) (State) (Zip) COMMERCIAL Original COMMERCIAL 8. Use: Present Description 9. Date of Construction: 1930S Architect/Builder 10. Building Type [] single-family dwelling [] industrial [] other institutional l religious multiple-family dwelling [] education [_] public agricultural [X] commercial 11. Exterior walls: [] clapboard [] stone [X] brick [] board and batten [] shingles stucco other_ 12. Structural System: [] wood frame with interlocking joints wood frame with light members (balloon frame) [X] masonry load-bearing walls [] iron frame steel frame with curtain walls reinforced concrete other 13. Condition: [] excellent [] deteriorated [X] good [] fair 14. Integrity: [X] original site [] moved-if so, when? Notes on alterations, additions (with dates and architect, if known) and any other notable features of building and site: (see next page) 15. Related Outbuildings and Property: [] barn [] other farm structures [] carriage house [] garage l privy [_] other 16. Is the building endangered: [X] no [] yes-if so, why? 17. Surroundings of the building: [] open land [] woodland [] scattered outbuildings [] densely built-up [X] commercial [] industrial [] residential [] other_ 18. Map 19. Photo looking Photographer Wirth



(Key structure/individually may qualify for the National Register) (I) a. Ames Compatible (I) c. Ames Noncontributing See continuation sheet. Theme(s) (I) a. Ames Compatible (I) a. Ames Compatible (I) a. Ames Contributing (Key structure/individually may qualify for the National Register) (Not eligible/intrusion) See continuation sheet. Theme(s) (I) a. Ames Compatible (I) a. Ames Compatible (I) b. Ames Compatible (I) c. Ames Noncontributing (Key structure/individually may qualify for the National Register) (Not eligible/intrusion) At least between 1911 and 1920, the second floor of a building on this site housed a lodge hall. In 1926 the commercial room at 314 housed George Robertson's shop (ADT, January 20, 1926, p. 1). The room at 314 housed, for many years, Jones Luggage, a leather specialty shop. Engeldingers, a children's clothing store, was also housed in this area; they moved to the North Grand Mall where they remain in business today. This building is historically significant because it calls attention to the upbuilding of the 300 block of Main Street during the second and third decades of the Twentieth Century. 22. Sources (for primary and secondary sources, give complete facts of publication: author, title, place of publication, of the Contribution of the Stories Preservation Use Only 1. Office Information Sources on this Property (I) County Resource File (I) Windshield Survey (I) National Register (I) Other		
Contributing structure	(Kay structure individually may qualify for the National Register)	
See continuation sheet. 1. Historical Significance		
1. Historical Significance [] a. Ames Contributing [R] b. Ames Compatible [] c. Ames Noncontributing [] (Key structure/individually may qualify for the National Register) [] c. Ames Noncontributing [] Contributing structure) [] Not eligible/intrusion At least between 1911 and 1920, the second floor of a building on this site housed a lodge hall. In 1926 the commercial room at 314 housed George Robertson's shop (ADT, January 20, 1926, p. 1). The room at 314 housed, for many years, Jones Luggage, a leather specialty shop. Engeldingers, a children's clothing store, was also housed in this area; they moved to the North Grand Mall where they remain in business today. This building is historically significant because it calls attention to the upbuilding of the 300 block of Main Street during the second and third decades of the Twentieth Century. 2. Sources (for primary and secondary sources, give complete facts of publication: author, title, place of publication, of the decades of the Twentieth Century. The Dunbar/Jones Partnership Des Moines, IA 50309 Telephone 515/280-8026 For Office of Historic Preservation Use Only Office Information Sources on this Property [] Country Resource File [] Windshield Survey [] National Register [] Other		
1. Historical Significance [] a. Ames Contributing [S] b. Ames Compatible [] c. Ames Noncontributing [Contributing structure) [Not eligible/intrusion) At least between 1911 and 1920, the second floor of a building on this site housed a lodge hall. In 1926 the commercial room at 314 housed George Robertson's shop (ADT, January 20, 1926, p. 1). The room at 314 housed, for many years, Jones Luggage, a leather specialty shop. Engeldingers, a children's clothing store, was also housed in this area; they moved to the North Grand Mall where they remain in business today. This building is historically significant because it calls attention to the upbuilding of the 300 block of Main Street during the second and third decades of the Twentieth Century. 2. Sources (for primary and secondary sources, give complete facts of publication: author, title, place of publication, of the second and third decades of the Twentieth Century. The Dunbar/Jones Partnership For Office of Historic Preservation Use Only Office Information Sources on this Property [] County Resource File [] Windshield Survey [] National Register [] Other		
1. Historical Significance [] a. Ames Contributing [S] b. Ames Compatible [] c. Ames Noncontributing [Contributing structure) [Not eligible/intrusion) At least between 1911 and 1920, the second floor of a building on this site housed a lodge hall. In 1926 the commercial room at 314 housed George Robertson's shop (ADT, January 20, 1926, p. 1). The room at 314 housed, for many years, Jones Luggage, a leather specialty shop. Engeldingers, a children's clothing store, was also housed in this area; they moved to the North Grand Mall where they remain in business today. This building is historically significant because it calls attention to the upbuilding of the 300 block of Main Street during the second and third decades of the Twentieth Century. 2. Sources (for primary and secondary sources, give complete facts of publication: author, title, place of publication, of the second and third decades of the Twentieth Century. The Dunbar/Jones Partnership For Office of Historic Preservation Use Only Office Information Sources on this Property [] County Resource File [] Windshield Survey [] National Register [] Other		
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Bureau of Historic Preservation Iowa State Department of Cultural Affairs Capitol Complex Des Moines, Iowa 50319

Site Number	081	

CONTINUATION SHEET

Significance

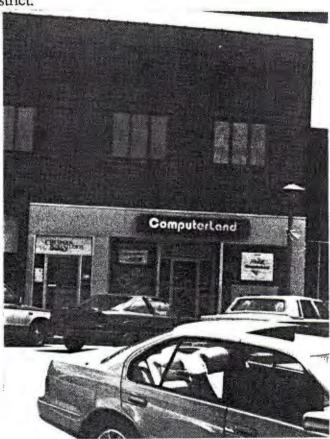
20. Architectural Significance

This is a two-story, brick commercial block with a two-room wide facade. The evolution of this site is complex. Already prior to 1900, a two-room commercial building stood on this site. The configuration of this building remained constant through the 1920s. The present building was constructed, according to Ames City Council minutes, in the 1930s, and originally was known as the Robertson Building. Its cost is said to have been \$12,000.

A 1930s date for the design of the facade is commensurate with its physical appearance. The building features two brickworked bands below the parapet area and lintels for the second floor windows which extend across the entire face of the building as stringcourses. The area directly above the storefront also has a stringcourse across the facade. The second floor windows are replacements. The three-paned vertical configuration injects a discordant note to this area. The building most likely had, originally, a small paned window configuration on the second floor. The building at 125-127 Main, which this building greatly resembles, has retained its original second floor windows, and a similar design was probably also in place at 312-314.

Bobby Rogers Clothing Store was housed in this building. The present first floor was remodeled for this business in the 1970s, although already in the 1950s, Bobby Rogers had also remodeled the building for this same business. She also owned a woman's fashion store in Campustown, North Grand Mall, and in Marshalltown.

This building is significant architecturally because it calls attention to the commercial style of architecture and its influence over Ames central business district.



Site Number	082		
District Name	4		
Man Reference			

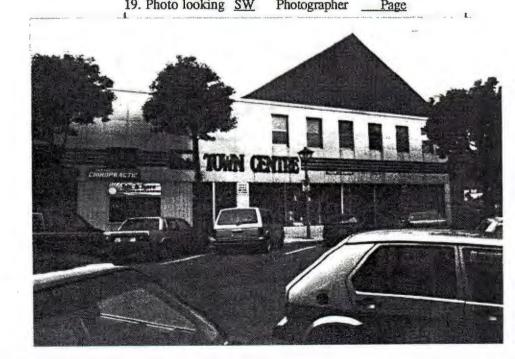
IUC	ittication				
1.	Site Name	COMMERCIAL BUI	LDING		
	Village/Town/City	AMES	Township_WAS	SHINGTON Con	inty STORY
	Street Address		ET		
	Legal Location				
	Urban; Rural:	subdivision township	block	parcel section	subparcel 1/4 section of 1/4 section
5. 6.	UTM Location: zone Owner(s) Name	easting	northing	; Acreage	
7.	Owner(s) Address				
		(Street address)	(City	·)	(State) (Zip)
8.	Use: Present	COMMERCIAL	Original_	COMMERCIA	AL .
De	scription				
9	Date of Construction	BET, 1911-1920*	Architect/Builder		
	Building Type single-family dwell multiple-family dwell X commercial	ing [] industrial		other institutional public	-
11.		clapboard [stone [] brick [] board an	nd batten [] sh	ingles stucco
12.		wood frame with interlocking walls [] iron frame			
13	Condition: [lexco	ellent [X] good []	fair [] deteriora	ited	
	Integrity: [X] original	site [] moved-if so, whe ditions (with dates and arch	n?		tures of building and site:
15.		nd Property: [] barn [] other farm structure	es [] carriage hou	use 🗌 garage 📋 privy
16.		red: [X] no [] yesif so	, why?		
17.	Surroundings of the bu [] industrial	ilding: [] open land [] w	oodland [] scattered	doutbuildings []	densely built-up [X] commercia
18.	Мар		19. Photo I	ooking <u>SW</u> Ph	otographer Wirth
I					



70 Amabitaatuval Signifiaanaa	
20. Architectural Significance [] a. Ames Contributing [] b. Ames Compatible	(Key structure/individually may qualify for the National Register) (Contributing structure)
[x] c. Ames Noncontributing	(Not eligible/intrusion)
This is a one-story, brick commintrusion in an historic commercappearance.	nercial building with a two-room wide facade. It is an cial district because the storefront presents an entirely new
21. Historical Significance Them [] a. Ames Contributing [] b. Ames Compatible	(Key structure/individually may qualify for the National Register) (Contributing structure)
[x] c. Ames Noncontributing	(Not eligible/intrusion)
Historical significance is not cla	aimed for this building because of integrity problems.
Woolworth's moved to North C	th's in Ames. There was a soda fountain in the store. After Grand Mall in the 1960s, Nimm's Sportsmen's was housed in Main Street Music store into this building).
22. Sources (for primary and secondary	sources, give complete facts of publication: author, title, place of publication, date, etc
* Sanborn fire insurance maps for 19	11 and 1920.
Prepared by William C. Page, Public	Historian Date Fall 1991
Address 104 Southwest Fourth St	reet Des Moines, IA 50309 Telephone 515/280-8026
Prepared by William C. Page. Public Address 104 Southwest Fourth St Organization The Dunbar/Jones Partner	reet Des Moines, IA 50309 Telephone 515/280-8026
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Site Number	083
District Name_	
Map Reference	

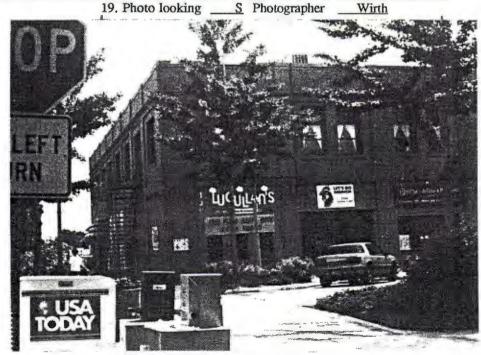
Ide	ntification						
1.	Site Name	MORRIS LIVERY S					
2.	Village/Town/City	AMES		WASH	INGTON Cou	nty STORY	
3.	Street Address	326-330 MAIN STR	EET				-
4.	Legal Location						
**	Urban: Rural:	subdivision township	ble	ock ge	parcel section	subparcel 1/4 section of 1/4 section	
		easting			; Acreage		
	Owner(s) Address					4	
		(Street address)		(City)		(State)	(Zip)
8.	Use: Present	COMMERCIAL	Oı	iginalC	COMMERCIA	L .	
Des	scription				*		
9.	Date of Construction:	1909	Architect/Bu	ilder			** 2000
10.	Building Type						
	single-family dwell				her institutional		
	multiple-family dw	elling [] education		∐ pu	iblic	agric	ultural
11	[X] commercial Exterior walls: []	clapboard [_] stone	r∘lhaide Flh	oard and h	atten [] ahi	ingles [] stucc	
11.	[x] other	ciapocatostone	f louck []	Oaro ano o	atten Sin	ingles stuce	U _.
10		10 11 1		1 . 10	*.1 1* 1.	1 /3:31 6	
12.	Structural System:	wood frame with interlocking walls [] iron frame	king joints	_ wood in	ame with light n	nembers (balloon frai	me)
	[] other			a manie w	ini curtain wans	remitateer cork	1616
12			16:- [13				
		ellent [X] good [site [] movedif so, wh		eteriorated			
17.	Notes on alterations, ad	ditions (with dates and arc	hitect, if known) and any	other notable fea	tures of building and	site:
	(see ne	kt page)	111004, 11 1110 1111	, and any		and of business and	undo.
15.	Related Outbuildings as	nd Property:	other farm s	tructures	carriage hou	ise 🗌 garage [_] privy
	other						
16.	Is the building endanger	red: [X] no [] yes-if:	so, why?				
17.	Surroundings of the bu	ilding: [] open land []	woodland []s	cattered or	utbuildings []	densely built-up [X]	commercial
	industrial	residential [other			y	
18.	Map		19.	Photo look	king SW Pho	otographer Page	2



Significance (Indicate sources of information for a	ll statements)
20. Architectural Significance [] a. Ames Contributing [] b. Ames Compatible [x] c. Ames Noncontributing (Key structure/individual (Contributing structure) (Not eligible/intrusion)	ly may qualify for the National Register)
This building needs further study. It appears that the load-bearing walls, was constructed as a garage, and This larger building also has tile walls and a facade part of the study of the	I separate from the building at 328-330.
None of these buildings currently obtain architectura the facades. They would be classified as intrusions	l significance because of alterations to in an historic commercial district.
21. Historical Significance [] a. Ames Contributing [] b. Ames Compatible [x] c. Ames Noncontributing (Not eligible/intrusion)	ly may qualify for the National Register)
Frank E. Morris (1868-19??) was born in Illinois an in Ames in 1875. Beginning in 1893 Morris engage	
In the spring of 1909 Morris built this building, "the stories and basement, with gable roof, is fifty-one by height. It is built of glazed brick and is used exclusi the corner of Main and Burnett avenue, and Mr. Motogether with vehicles of all kinds, and three hearses funeral use. His livery barn is accorded a liberal pasubstantial and gratifying lines" (1911 History of S Although occupying the room at 231 Main in the 19 this building for many years.	y one hundred feet and fifty-one feet in ively for the livery business. It location is at bris has about twenty-five head of horses, and a number of closed carriages for tronage, and the business has grown along tory County, Iowa; Volume 2; page 328).
Historical significance is not claimed for this building put up in the late 1980s.	ng because of the building's current facade,
22. Sources (for primary and secondary sources, give complete	facts of publication: author, title, place of publication, date, etc
Prepared by William C. Page. Public Historian Address 104 Southwest Fourth Street Des Moines, IA Organization The Dunbar/Jones Partnership	Date Fall 1991 50309 Telephone 515/280-8026
For Office of Historic Preservation Use	Only
1. Office Information Sources on this Property [] County Resource File [] Windshield Survey [] National Register [] Grants-in-Aid: [] Determination of Eligibility	[] Review and Compliance Project: [] Other [] Other [] Other
2. Subject Traces	3. Photo Images
a b c d e	

Site Number	084		
District Name_			
Map Reference			

1.	Site Name	F. J. OLSON & SON	BUILDING			
	Village/Town/City			HINGTON Cou	inty STORY	
	Street Address	400-402 MAIN STRE	ET			
	Legal Location					
	Urban:	subdivision township	block range	parcel section	subparcel 1/4 section of 1/4 section	
5.	UTM Location: zone	easting	northing	; Acreage	. "	
6.	Owner(s) Name		3			
7.	Owner(s) Address					
		(Street address)	(City)		(State)	(Zip)
8.	Use: Present	COMMERCIAL	Original_	COMMERCIA	AL ·	
	scription					
9.	Date of Construction:	1911*	Architect/Builder			
10.	Building Type					
	single-family dwelling			other institutional		
	multiple-family dwe	lling		public	agric	ulturai
	[X] commercial	alambanad F Tatana F	Their Filhead on	dhaman flah	inales (TVI) at a	
11.		clapboard [] stone [ONCRETE] onck [] ooard an	i batten sn	ingles [X] stuce	20
	[A] other POURED C	ONCRETE				
12.	Structural System: []	wood frame with interlocki	ng ioints [] wood	frame with light n	nembers (balloon fra	me)
,	masonry load-bearin	g walls [] iron frame	steel frame	with curtain walls	[X] reinforced cor	crete
	other					
12	Condition: [] awar	Hant IVI mand []	Cain F. T. datamiama	a.d		
		llent [X] good []! site [] movedif so, whe		EU.		
l",	Notes on alterations add	ditions (with dates and arch	urif known) and ar	v other notable fea	tures of building and	l cite.
	(see nex		ioos, ii kiiomij and ai	ly outer notable rea	itanes or ountaing and	310.
15.		d Property: [_] barn [_	l other farm structure	s [] carriage hor	ise [] garage	_] privy
	[_] other					
16.		ed: [X] no [] yesif so	, why?			
17	Surroundings of the bui	lding: [] open land [] w	codland [] scattered	outbuildings f L	densely built-up (X	commercial
~	industrial	residential of			densely built-up [X	, commercial
18.	Мар		19. Photo lo	ookingS Ph	otographer Wir	th



Significance (Indicate s 0. Architectural Significance	sources of information for	au statements)			
[x] a. Ames Contributing	(Key structure/individu	ally may qualif	y for the National I	(legister)	
[] b. Ames Compatible	(Contributing structure)			
[] c. Ames Noncontributing	(Not eligible/intrusion)			
See continuation sheet.					٠,
	eme(s)				
[x] a. Ames Contributing	(Key structure/individu		y for the National I	Register)	
[] b. Ames Compatible [] c. Ames Noncontributing	(Contributing structure (Not eligible/intrusion				
Olsons featured cut flowers a vegetable plantings. The firm Ward near West Gate and at it spelled, often Olsan, sometim operations on the first floor ar explain the need for the heavy Collegiate Manufacturing Corprior to their relocation into 50 a story in the Ames Daily Trie "In 1891 the firm of F. J. Olsa greenhouse, but business grew have 15,000 square feet under 1911. Here they have a very a seeds, and flowers, cut and pot flowers and plants for funerals four sons, William, Charles, Nown flowers and plantsThey of their product to Des Moines rear for the American Railway	and seeds, pot and bed a maintained two store his new building on hes Olsen). The new had a dance hall on the duty structural design any based its penneth Street. Some of November 1 and & Sons was established rapidly and their plant we glass. The downtown statractive display room, we ted, and are prepared to me and all sorts of occasion willos, and George F. J. specialize in chrysanthers. In Their new building Express company. The	ding plants, as in Ames, as in Ames, as in Ames, and a second floor of the built and factory in a second floor of the built and factory in a seniarged unore of F. J. Ol here they carry take special des The firm of Olsan & Sons nums and carry on Main street west half of the	the original one (The Olson name designed to he of the Olson name designed to he of the Olson of	in the Fourth me is variously buse their floral unction helps at later the bor of this building firm: ime they uilt in bulbs, unish cut san and all their large part uce in the erated by	
the New London cafe, while al during the festive season." Fe 2. Sources (for primary and secondary	ature includes photograp	h of building l	ooking southwest.		late, e
* Sanborn fire insurance map 1911	"(From Plans)".				
repared by William C. Page, Publi	c Historian		Date	Fall 1991	
	Street Des Moines, L	A 50309	Telephone	515/280-8026	
organization The Dunbar/Jones Partr					
For Office of Historic	Preservation Us	e Only			
. Office Information Sources on this [] County Resource File	Property	[] Review	and Compliance I	Project:	
[] Windshield Survey		[] Other			
National Register		[] Other			
[] Grants-in-Aid: [] Determination of Eligibility		[] Other_			
[] Determination of Eligibility					
Subject Tra			3. Photo	Images	
Subject Traces		****			
a					
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Bureau of Historic Preservation Iowa State Department of Cultural Affairs Capitol Complex Des Moines, Iowa 50319

Site Number 084	
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CONTINUATION SHEET

Significance

20. Architectural Significance

This is a two-story, poured concrete commercial block with a two-room wide facade. The building is notable as an early example in Ames of an advanced building technology: poured and reinforced concrete as a structurally engineered design. Although an architect's name has not, to date, been identified for the building, the modern technology strongly suggests a professional.

According to research provided by Farwell T. Brown, W. A. Jennings (1898-1980), founder of the Economy Forms Corporation of Des Moines, worked for F. J. Olson while a student at Iowa State. This connection is highly interesting because Economy Forms is today a national producer of reusable concrete forms. Did Jennings become interested in poured concrete while working for Olsons? Brown has discussed this idea with Jennings' granddaughter. Although unconfirmed, the connection is not improbable. According to Brown's research, a similar building was erected in Pocahontas, Iowa, but this building has since been razed.

The integrity of this building remains high. Although the three bays on the storefront have been altered, they respect the original cavities. Windows on the second floor on the east elevation are 1/1 double hung sash and appear to be original to the building.

This building would be contributing/key to an historic commercial district because it calls attention to an important new engineering technology of the first quarter of the Twentieth Century. This building appears to be the first building in the central business district which employs concrete products. As such, it might have established a precedent for the use of stucco on commercial buildings, such as the facelifts at 131, 201, and 233 Main Street.



Site Number	085	
District Name_		
Man Reference		

Id

Ide	ntification					
1	Site Name	COMMERCIAL BUIL	DING	TYPICTON C	nty STORY	
2.	Village/Town/City	AMES	Township WAS	SHINGTON Cour	nty STORI	
3.	Street Address	404-410 MAIN STRE				
4.	Legal Location					
	Urban: Rural:	subdivision township	block	parcel section	subparcel 1/4 section of 1/4 section	
5	LITM Location: zone	easting	northing	: Acreage		
6	Owner(s) Name			,		
	Owner(s) Address					
	1000	(Street address)	(Cit	y)	(State)	(Zip)
8.	Use: Present	COMMERCIAL	Original	COMMERCIA	L	
De	scription					
٥	Date of Construction	BET, 1920-1926	Architect/Builder			
	Building Type	DB1, 1/20 1/20	_ 1 II Olisaboly 13 dillocs		······································	
IV.	single-family dwelli	ing [_] industrial	r	other institutional	religio	nie
	multiple-family dwell	elling [] education] public		
	[X] commercial		_) baome	Lagrice	a contract
11		clapboard [] stone [X	Thrick [] hoard a	nd hatten [] shi	ngles [] stucco	
11.	other	composite [25	J DI TOKE [] COCKING III		ingles	
						"
12.	Structural System:	wood frame with interlocking	ng joints	d frame with light m	embers (balloon fran	1e)
		ng walls [] iron frame	steel fram	e with curtain walls	reinforced conc	rete
	other	-				
13	Condition: []exce	ellent [X] good [] fa	ir [] deterior	ated		
		site [] movedif so, when		auxi		
	Notes on alterations: ad	ditions (with dates and archit	ect. if known) and a	ny other notable feat	ures of building and	site:
	(see nex		and a series in any annual		and of banding and	
15.		nd Property: [] barn []	other farm structure	es [] carriage hour	se []garage [] privy
	[] other					T brail
16.	Is the building endanger	red: [X] no [] yes-if so,	why?			
17.	Surroundings of the bui	ilding: [] open land [] wo [] residential [] oth	odland [] scattere	d outbuildings [] d	lensely built-up [X]	commercial
18.	Мар			looking <u>S</u> Pho		
		An er displaying	trage . In a	Sur- Newson	reas and a	200 marry 1901 mar. 1



Significance (Indicate of				
20. Architectural Significance	ources of information for all stat	ements)		
[] a. Ames Contributing				
[X] b. Ames Compatible	(Key structure/individually may (Contributing structure)	qualify for the National	Register)	
[] c. Ames Noncontributing	(Not eligible/intrusion)			
This is a two-story, brick comm	nercial block with an excep	tionally wide facad	e. The building is	
significant as an example of a d	esign influenced by the con	mmercial style. Not	table features in	-
this regard are the use of multi- pilasters on each side and flank	ing the two center have. T	he building also for	is, and the brick	
cornice with corbels. Although	the storefront area of this	huilding has been re	huilt it might be	
contributing to an historic comm	nercial district particularly	if the original fabric	of the second floor	
windows remains intact.				
This building among from Gran		and constructed has	1020 1	
This building appears, from fire 1926 as a garage. The building				
architecture's influence in Amer				
shows a careful regard to traditi				,
1. Historical Significance Then	ne(c)			
[] a. Ames Contributing	(Key structure/individually may	qualify for the National	Register)	
[x] b. Ames Compatible	(Contributing structure)			
[] c. Ames Noncontributing	(Not eligible/intrusion)			
In 1917, P. A. Mathre operated				
featured Overland and Willy-K				
This building illustrates, therefore	ore, the development of this	s portion of Main St	reet as an areas	
which provided commercial ser with heavy products like feed a		s and other commer	cial operations .	
with heavy products like feet a	na gram.			
The construction of this buildin	g further reiterates the boo	m along this portion	of Main Street	
during the 1920s.		,		
22. Sources (for primary and secondary	sources, give complete facts of	publication: author, ti	ide, place of publication, date	e, etc
Sanborn fire insurance maps 1911, 1	920, and 1926.			
Prepared by William C. Page, Public	Historian	Date	Fall 1991	
Address 104 Southwest Fourth St	reet Des Moines, IA 5030	Telephone_	515/280-8026	
Organization The Dunbar/Jones Partner	ship			
For Office of Historic Pr	reservation Use On	ly		
. Office Information Sources on this P.	roperty [1D	eview and Compliance	Project:	
[] County Resource File	operty	view and Compilance.	riojaci	
Windshield Survey	[]0	ther		
[] National Register	[]0	ther		
[] Grants-in-Aid: [] Determination of Eligibility	. []0	ther		
[] Determination of Engionity	•			
2. Subject Traces		3. Photo	Images	
c. Subject fraces	***************************************			-
a				
b				
c				
e				
		•		

Site Number	086	
District Name_		•
Man Reference		

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16.13		a.r	11	wa	.1.	\mathbf{u}

1.	Site Name	J. L. DAHL TIRE ST	ORE		· · · · · · · · · · · · · · · · · · ·
2.	Village/Town/City	AMES	Township_WAS	HINGTON Con	unty STORY
3.	Street Address	412 MAIN STREET			
4.	Legal Location				
	Urban: Rural:	subdivision township	block	parcel section	Subparcel 1/4 section of 1/4 section
5.	UTM Location: zone	easting	northing	; Acreage	
6.	Owner(s) Name	-			
7.	Owner(s) Address			· .: ·	
		(Street address)	(City)		(State) (Zip)
8.	Use: Present	COMMERCIAL	Original_	COMMERCIA	AL ·
De	scription				,
9.	Date of Construction:	1925*	Architect/Builder		*
10.	Building Type [_] single-family dwelli [_] multiple-family dwelli [X] commercial	ing [] industrial elling [] education		other institutional public	agricultural
11.	Exterior walls: [] other	clapboard [] stone []	X] brick [] board and	d batten sh	ningles [] stucco
12.	Structural System: [_] [X] masonry load-beari [_] other	wood frame with interlocking walls [] iron frame	ing joints [] wood [] steel frame		members (balloon frame) s [] reinforced concrete
		ellent [X] good [] site [] movedif so, whe		ed	
	Notes on alterations, ad	ditions (with dates and arch	itect, if known) and an	y other notable fer	atures of building and site:
15.		nd Property: barn [other farm structure:	s [] carriage ho	use [] garage [] privy
16.		red: [X] no [] yesif so	, why?		
17.		ilding: [] open land [] w [] residential [] o		outbuildings []	densely built-up [X] commercial
18.	Мар		19. Photo lo	ooking <u>S</u> Ph	notographer Wirth



Significance (Indicate sources of information	for all statements)
20. Architectural Significance [] a. Ames Contributing (Key structure/indiv	vidually may qualify for the National Register)
[x] b. Ames Compatible (Contributing struc	ture)
[] c. Ames Noncontributing (Not eligible/intrus	sion)
This is a two-story, brick commercial block with example of a store influenced by the commercial include the second floor window sills and lintels facade and which extend, as stringcourses, the er storefront cavities is also worked in darker colore. Surface textures of the building are further enrich above the second floor stringcourse, dark colores simple cornice. This building could be contributed. This building appears, from fire insurance maps 1926. More research is necessary to distinguish which it abutts. Although all built at approximate break with the standard in Ames. Their street in unclear because they differ from current street in	style of architecture. Features of this influence which are fabricated of a brick darker than the ntire width of the facade. The lintel over the ed brick and extends the width of the facade, need by the dark colored brick forming plaques d brick framing the second floor windows, and a ling to an historic commercial district. s, to have been constructed between 1920 and a the evolution of this building and those stely the same time, their storefront widths sumbers on the fire insurance maps are also
[x] b. Ames Compatible (Contributing structure) [] c. Ames Noncontributing (Not eligible/intrustrum) See continuation sheet.	
* Sl 5 i 1011 1000 11026	
* Sanborn fire insurance maps 1911, 1920, and 1926.	
Prepared by William C. Page. Public Historian	Date Fall 1991
Prepared by William C. Page, Public Historian	Date Fall 1991 S. IA 50309 Telephone 515/280-8026
Prepared by William C. Page, Public Historian Address 104 Southwest Fourth Street Des Moine	s. IA 50309 Telephone 515/280-8026
Prepared by William C. Page. Public Historian Address 104 Southwest Fourth Street Des Moine Organization The Dunbar/Jones Partnership For Office of Historic Preservation 1. Office Information Sources on this Property [] County Resource File [] Windshield Survey [] National Register	Use Only [] Review and Compliance Project: [] Other [] Other
Prepared by William C. Page. Public Historian Address 104 Southwest Fourth Street Des Moine Organization The Dunbar/Jones Partnership For Office of Historic Preservation 1. Office Information Sources on this Property [] County Resource File [] Windshield Survey [] National Register [] Grants-in-Aid: [] Determination of Eligibility 2. Subject Traces a.	Use Only [] Review and Compliance Project: [] Other [] Other [] Other [] Other [] Other 3. Photo Images
Prepared by William C. Page. Public Historian Address 104 Southwest Fourth Street Des Moine Organization The Dunbar/Jones Partnership For Office of Historic Preservation 1. Office Information Sources on this Property [] County Resource File [] Windshield Survey [] National Register [] Grants-in-Aid: [] Determination of Eligibility	Use Only [] Review and Compliance Project: [] Other [] Other [] Other 3. Photo Images
Prepared by William C. Page. Public Historian Address 104 Southwest Fourth Street Des Moine Organization The Dunbar/Jones Partnership For Office of Historic Preservation 1. Office Information Sources on this Property [] County Resource File [] Windshield Survey [] National Register [] Grants-in-Aid: [] Determination of Eligibility 2. Subject Traces a.	Use Only [] Review and Compliance Project: [] Other [] Other [] Other [] Other [] Other 3. Photo Images
Prepared by William C. Page. Public Historian Address 104 Southwest Fourth Street Des Moine Organization The Dunbar/Jones Partnership For Office of Historic Preservation 1. Office Information Sources on this Property [] County Resource File [] Windshield Survey [] National Register [] Grants-in-Aid: [] Determination of Eligibility 2. Subject Traces a b c	Use Only [] Review and Compliance Project: [] Other [] Other [] Other [] Other 3. Photo Images
Prepared by William C. Page. Public Historian Address 104 Southwest Fourth Street Des Moine Organization The Dunbar/Jones Partnership For Office of Historic Preservation 1. Office Information Sources on this Property [] County Resource File [] Windshield Survey [] National Register [] Grants-in-Aid: [] Determination of Eligibility 2. Subject Traces a b c d	Use Only [] Review and Compliance Project: [] Other [] Other [] Other [] Other [] Other

Bureau of Historic Preservation Iowa State Department of Cultural Affairs Capitol Complex Des Moines, Iowa 50319

Site Number	086	
	-X-X-X	

CONTINUATION SHEET

Significance		· · ·	
21 Historical Significance	Themale)		

Constructed in 1925 for J. L. Dahl, this building provided housing for his tire service business. The Ames Daily Tribune reported on June 2, 1925, that ""Two New Business Buildings for City; J. H. Dahl and C. J. Lynch to Start Construction Soon; Ames is in line for two new business buildings to be started within the immediate future. J. L. Dahl tire man, plans on erecting a two-story brick building on the site of his present tire store at 412 Main street. Plans are being drawn up for the building and it is expected that excavation will begin this week. The contract will be let out for bids as soon as the plans are completed, probably this week." [This article is a good example of the reticence the Ames Daily Tribune historically has to printing the names of architects associated with construction projects.]

This building points out the upbuilding of this portion of Main Street in the 1920s and calls attention to the economic boom during this period, which made the development possible.

Site Number	087	
District Name		
Man Reference		

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ж.		LAA.		Aug.	

1.	Site Name	COMMERCIAL BUIL	LDING			
2.	Village/Town/City	AMES	Township	WASHI	NGTON County	STORY
	Street Address		ET			
4.	Legal Location	-				
	Urban: Rural:	subdivision township	_	lock		ibparcel 4 section of 1/4 section
		easting	northing_		; Acreage	
	Owner(s) Address					
7 6	(17224 (b) 2 2004 200	(Street address)		(City)		(State) (Zip)
8.	Use: Present	COMMERCIAL		original C	OMMERCIAL	
De	scription					
	Building Type	AFTER 1926* Ing industrial elling education			er institutional	religious
11.	[X] commercial	clapboard [] stone [7	() brick []	_		_
12.		wood frame with interlocking walls [] iron frame				
	Integrity: [X] original	ellent [X] good [] is site [] movedif so, whe	n?			
	Notes on alterations, ad	ditions (with dates and archite page)	itect, if know			
	[] other	nd Property:		structures	carriage house	[] garage [] privy
16.	Is the building endanger	red: [X] no [] yesif so	, why?			
17.		ilding: open land w residential o			tbuildings [] dense	ely built-up [X] commercia
18.	Мар		19.	Photo look	ing S Photogr	rapher Wirth

	urces of information for all	statements)			
 20. Architectural Significance [] a. Ames Contributing [] b. Ames Compatible [x] c. Ames Noncontributing 	(Key structure/individually (Contributing structure) (Not eligible/intrusion)	may qualify f	or the National Ro	egister)	
See continuation sheet.					_
21. Historical Significance Then [] a. Arnes Contributing [] b. Arnes Compatible [x] c. Arnes Noncontributing	ne(s) (Key structure/individually (Contributing structure) (Not eligible/intrusion)	may qualify f	or the National R	egister)	
The construction of this building during the 1920s.	ng further reiterates the	boom along	g this portion o	of Main Street	
Sources (for primary and secondary * Sanborn fire insurance maps 1920	and 1926.	cts of publica			date, etc
Prepared by William C. Page, Public Address 104 Southwest Fourth S Organization The Dunbar/Jones Partne	treet Des Moines, IA	50309		Fall 1991 515/280-8026	
For Office of Historic P		Only			
1. Office Information Sources on this P [] County Resource File [] Windshield Survey [] National Register [] Grants-in-Aid: [] Determination of Eligibility	-	[] Other		oject:	
2. Subject Traces			3. Photo I	mages	
a. b. c. d. e.					

Bureau of Historic Preservation Iowa State Department of Cultural Affairs Capitol Complex Des Moines, Iowa 50319

Site Number 087

CONTINUATION SHEET

Significance

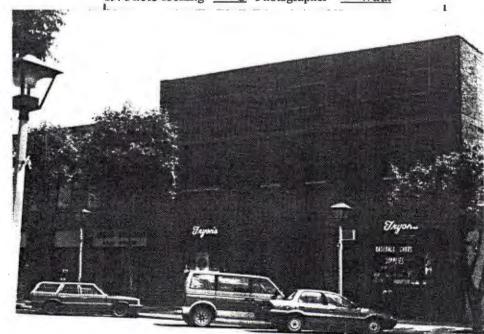
20. Architectural Significance

This is a two-story, brick commercial block with a two-room wide facade. The building is a good example of a store influenced by the commercial style of architecture. Features of this influence include brick lintels over the storefront which extends, as a stringcourse, the entire width of the facade. Surface textures of the building are further enriched by the variety of colors of brick and by brickwork design of lozenges in the plaque area of the building. This design is accomplished through laying bricks which protrude slightly from the face of the facade. The second story windows, which originally were probably 1/1 double hung sash, have been replaced with a modern single pane configuration, and this design distracts from the rich texture which the building otherwise conveys. There appears to be considerable alteration of the first floor's configuration. This building might be compatible/contributing to an historic commercial district, particularly if the configuration of second floor windows was returned to its original design.

This building appears, from fire insurance maps, to have been constructed after 1926. More research is necessary to distinguish the evolution of this building and those which it abutts. Although all were built at approximately the same time, their storefront widths break with the standard in Ames. Their street numbers on the fire insurance maps are also unclear because they differ from current street numbers.

Site Number	088	
District Name_		
Map Reference		

1.	Site Name	COMMERCIAL BUIL	LDING			
2.	Village/Town/City	AMES	Township WA	SHINGTON Con	unty STORY	
	Street Address	420 MAIN STREET				
4.	Legal Location		,			
	Urban: Rural:	subdivision township	block	parcel	subparcel 1/4 section of 1/4 section	
5.	UTM Location: zone	easting	northing	; Acreage		
	Owner(s) Name					
7.	Owner(s) Address				•	
		(Street address)	(Ci	y).	(State)	(Zip)
8.	Use: Present	COMMERCIAL	Original	COMMERCIA	AL .	
De	scription					
9.	Date of Construction:	BET. 1911-1920*	Architect/Builder			
	Building Type [] single-family dwelling [] multiple-family dwelling [X] commercial	ng [] industrial		_] other institutional _] public	☐ religi ☐ agrica	
11.		clapboard [] stone [7	K] brick [_] board a	and batten [] sh	ingles stucce	
12.	Structural System: [] [X] masonry load-bearin [] other	wood frame with interlocking walls [] iron frame	ng joints [] woo	od frame with light r ne with curtain walls	nembers (balloon frames [_] reinforced cond	ne) crete
13	Condition: []evce	llent [X] good [] f	fair [] deterior	ested		
14.	Integrity: [X] original	site [] movedif so, when	n?	CILAI		
,		ditions (with dates and archi		any other notable fea	atures of building and	site:
15.		d Property: [] barn [] other farm structur	res [] carriage ho	use [] garage [_] privy
16.	Is the building endanger	ed: [X] no [] yes-if so	, why?			
17.		lding: [] open land [] wo		ed outbuildings [_]		commercial
18.	Map		19. Photo	looking S Ph	otographer Wirt	h



0	ources of information for all s	tatements)		
20. Architectural Significance [] a. Ames Contributing [x] b. Ames Compatible [] c. Ames Noncontributing	(Key structure/individually r (Contributing structure) (Not eligible/intrusion)	nay qualify for the Nati	onal Register)	
See continuation sheet.				·
21. Historical Significance The	ne(s)			
[] a. Ames Contributing [x] b. Ames Compatible [] c. Ames Noncontributing	(Key structure/individually r (Contributing structure) (Not eligible/intrusion)	nay qualify for the Nati	onal Register)	
This building calls attention to first decades of the Twentieth on the first floor. The building Street as a center for automobi heavy commercial enterprises, building calling attention to this	Century. In 1920 the but specifically shows the cle-related services, like glike feed and grain store	ilding housed a flo evolution of this po- garages and filling	ortion of Main stations, and other	
22. Sources (for primary and secondary Sanborn fire insurance maps for 19		s of publication: auth	or, title, place of publication	on, date, etc
Prepared by William C. Page, Public	Historian	Date	Fall 1991	
Address 104 Southwest Fourth S Organization The Dunbar/Jones Partner	treet Des Moines, IA 50)309 Telepho	one 515/280-8026	
For Office of Historic P		Only -		
Office Information Sources on this I [] County Resource File	Property [Review and Complia	-	
[] Windshield Survey] Other		
[] National Register [] Grants-in-Aid: [] Determination of Eligibility	_ t] Other		
2. Subject Traces	_	3. P	hoto Images	
a				
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c. d.			-	
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Bureau of Historic Preservation Iowa State Department of Cultural Affairs Capitol Complex Des Moines, Iowa 50319

Site Number	088	

CONTINUATION SHEET

Significance

20. Architectural Significance

This is a two-story, hollow tile commercial block faced with brick veneer on the facade with a non-conforming room width. It was constructed between 1911 and 1920. Although the facade conforms to the standard Ames 50 foot width for two commercial rooms, a large vehicular entrance at the center of the facade differentiates this building from other commercial buildings in the central business district. This building appears to have served as a wholesale house according to a 1926 Sanborn map.

Notable architectural features on this building include the stringcourse in light colored brick, which acts as an extension of the second floor window lintels, and three plaques worked in the same light brick above the stringcourse. This light brick contrasts with the darker colored brick of the facade. Second floor windows are double hung sash 1/1. These windows may be original. The first floor features a centrally placed vehicular doorway. This panel door appears to be original to the building. Although the two storefront windows have been blocked down somewhat, they retain the size of the original cavity. The integrity of this building is high.

This building is significant because it shows influences of the commercial style of architecture applied to a warehouse type building and because the integrity of this design is high.

Site Number_	090	
District Name_		
Map Reference	*	

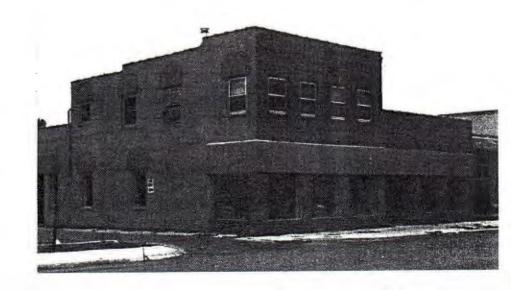
1.	Site Name	COMMERCIAL BUIL					
2.	Village/Town/City	AMES			INGTON Coun	ty STORY	
	Street Address	109, 111, 113, 115 5T	H STREET	,			
4.	Legal Location						
	Urban: Rural:	subdivision township		ock ige	parcel section	subparcel 1/4 section of 1/4 section	1
		easting			; Acreage		
7.	Owner(s) Address						
		(Street address)		(City)		(State)	(Zip)
8.	Use: Present	COMMERCIAL	0	riginal	COMMERCIA	L ·	
De	scription						
9.	Date of Construction:	1926*	Architect/Bu	ilder			
10.	Building Type [] single-family dwelli [] multiple-family dwelli [X] commercial	ng [] industrial			ther institutional ublic	[] relig [] agric	
		clapboard [] stone [X] brick [] t	ooard and l	oatten [] shir	ngles [] stuce	œ <u></u>
12.	Structural System: [] [X] masonry load-bearin [] other	wood frame with interlocking walls [] iron frame	ng joints [_] ste	_] wood fi el frame v	rame with light me vith curtain walls	embers (balloon fra	me) crete
13	Condition: []exce	ellent [X] good [] f	air flo	leteriorated	ı		
14.	Integrity: [X] original	site [] moved-if so, when ditions (with dates and archi	1?			ures of building and	l site:
	[] other	nd Property: barn		tructures	carriage hous	e [] garage [_] privy
16.	Is the building endanger	ed: [X] no [] yesif so,	why?				
17.	Surroundings of the bui	ilding: [] open land [] wo	oodland [] s	cattered o	utbuildings [] de	ensely built-up [X]	commercia
18.	Мар		19.	Photo loo	king <u>N</u> Pho	tographer Wir	th .



9	rces of information for all statements	3)		
 20. Architectural Significance [] a. Ames Contributing [x] b. Ames Compatible [] c. Ames Noncontributing 	(Key structure/individually may qualif (Contributing structure) (Not eligible/intrusion)	fy for the National R	egister)	-
The following four commercial different businesses over the year historic commercial district. The They are all constructed of hollo 1926 or shortly thereafter, probabuildings are shown, marked "I	ars and should probably be countese buildings, however, share ow tile faced with brick veneer. ably for the same owner and by	unted as separate a unified archite . They were all of y the same control	resources in an ctural design.	0
This is a two-story, brick comm features paired windows on the panels worked in brick above th to the building and add a distinc covered with various forms of y beneath them. This building is a influence of the commercial styl first three decades of the Twenti	second floor with 6/1 double has windows and below the partive note to it. Although the firwood siding, some of the build architecturally significant because of architecture over the American	hung sash type varapet. The wind rst floor of this bing's original faluse it calls attention	vindows and dows are original building has been oric may remain on to the	
21. Historical Significance Them [] a. Key structure/individually may [x] b. Contributing structure (Ames [] c. Not eligible/intrusion (Ames	qualify for the National Register (An Compatible)	nes Contributing)		•
Prior to construction of this com Story) was residential. Constru- booming Ames economy during into this portion of the commun	ction of this building calls atte g the 1920s and the extension of	ntion, therefore,	to the	٠
22. Sources (for primary and secondary		lication: author, tit	le, place of publication, d	late, etc
*Sanborn fire insurance maps for 192	U and 1926.			
Prepared by William C. Page, Public I Address 104 Southwest Fourth Str	Historian IA 50300	Date	Fall 1991	
Organization The Dunbar/Jones Partner		1 elephone	313/280-8026	
For Office of Historic Pr	eservation Use Only			
Office Information Sources on this Pr [] County Resource File	operty [] Review	and Compliance P	roject:	
[] Windshield Survey	[] Other_			
National Register	[] Other_			
[] Grants-in-Aid: [] Determination of Eligibility	[] Outer_			
2. Subject Traces		3. Photo	Images	
a. b.				
c				
de.				

Site Number	091	
District Name		
Man Reference		

lde	entification					
1.	Site Name	MORGAN BUILDIN	G			
2.	Village/Town/City	AMES	Township WASH	NGTON County	STORY	
	Street Address	215 5TH STREET				
4.	Legal Location					,
	Urban: Rural:	subdivision township	block range		Subparcel 1/4 section of 1/4 section	
5.	UTM Location: zone	easting	northing	; Acreage	*	
6.	Owner(s) Name					
7.	Owner(s) Address					
		(Street address)	(City)		(State) (Zip))
8.	Use: Present	COMMERCIAL	Original C	OMMERCIAL		
De	scription					
9.	Date of Construction:	1928*	Architect/Builder			
	Building Type					
	single-family dwell	ing [] industrial	[] ot	her institutional	[] religious	
	multiple-family dw	elling education	[_] pu	blic	agricultural	
	[X] commercial					
11.		clapboard [] stone []	() brick [] board and b	atten shing	les [] stucco	
	other			· · · · · · · · · · · · · · · · · · ·		
12.	Structural System:	wood frame with interlocking	ng joints [] wood fr	ame with light men	bers (balloon frame)	
	[X] masonry load-beari	ng walls [] iron frame	steel frame w	ith curtain walls	reinforced concrete	
	other					
13.	Condition: [] exc	ellent [X] good [] f	air [] deteriorated			
	Integrity: [X] original	site [] moved-if so, when	n?			
	Notes on alterations, ac	lditions (with dates and archi	tect, if known) and any	other notable featur	es of building and site:	
	(see ne	xt page)			_	
15.		nd Property: [] barn [] other farm structures	carriage house	garage priv	y
16	other	red: [X] no [] yesif so	why?			
10.	re are punding cutange	ior (vino [] kegaan 20	, way :			
17.	Surroundings of the bu [] industrial	ilding: open land wo residential ot	oodland [] scattered ou her	ıtbuildings [] den	sely built-up [X] comm	ercial
18.	Мар	·	19. Photo look	cing <u>NE</u> Photograp	pher Page	
				_		.
				2	17 215	,
1						



Significance (Indicate sources of information	for all statements)
O. Architectural Significance [] a. Ames Contributing (Key structure/indivi	dually may qualify for the National Register)
[x] b. Ames Compatible (Contributing structs [] c. Ames Noncontributing (Not eligible/intrusi	ire)
This is a one-story, brick commercial building w constructed in 1928 for Clarence J. Morgan, this	building features two panels worked in brick
above the first floor storefront and below the par	apet. There are also two brick courses above
the panels which run horizontal across the facade	The parapet is capped with a tile coping.
Although the storefront has been altered, original vertical wood siding which now covers the trans-	om area. This building is significant because it
calls attention to the influence of the commercial	style of architecture in Ames. The reference to
Clarence J. Morgan needs to be confirmed becau	se the archival information indicated his
building to be "213."	
	ş
21. Historical Significance Theme(s)	
[] a. Key structure/individually may qualify for the Nation [x] b. Contributing structure (Ames Compatible)	onal Register (Ames Contributing)
[] c. Not eligible/intrusion (Ames Non-Contributing)	
The site adjacent to this building, 201 5th Street	and now occupied by the Ames Public Library,
was, in the 1920s, the site of the Allen Motor Co	ompany and Garage. It was built in 1928,
according to city council minutes, and shown in 5th and Douglas.	the 1940-41 Ames City Directory standing at
Jii and Douglas.	
The Clarence J. Morgan Bicycle Shop at 213 5th	Street remains extant. Also built in 1928, it is
historically significant because it calls attention to This extension of the Ames central business distri-	o the upbuilding of 5th Street during the 1920s.
the period.	tiet shows the booming focus contonly during
the period.	
the period.	ete facts of publication: author, title, place of publication, date,
the period.	
the period. 22. Sources (for primary and secondary sources, give comple *Ames City Council minutes as edited by Shrader. Prepared by William C. Page. Public Historian	ete facts of publication: author, title, place of publication, date, on Date Fall 1991
the period. 22. Sources (for primary and secondary sources, give complete *Ames City Council minutes as edited by Shrader. Prepared by William C. Page, Public Historian Address 104 Southwest Fourth Street Des Moines	ete facts of publication: author, title, place of publication, date, on Date Fall 1991
the period. 22. Sources (for primary and secondary sources, give comple *Ames City Council minutes as edited by Shrader. Prepared by William C. Page. Public Historian	ete facts of publication: author, title, place of publication, date, on Date Fall 1991
the period. 22. Sources (for primary and secondary sources, give complete *Ames City Council minutes as edited by Shrader. Prepared by William C. Page, Public Historian Address 104 Southwest Fourth Street Des Moines	Date Fall 1991 IA 50309 Telephone 515/280-8026
the period. 22. Sources (for primary and secondary sources, give complete Admes City Council minutes as edited by Shrader. Prepared by William C. Page. Public Historian Address 104 Southwest Fourth Street Des Moines Organization The Dunbar/Jones Partnership For Office of Historic Preservation	Date Fall 1991 IA 50309 Telephone 515/280-8026 Use Only
the period. 22. Sources (for primary and secondary sources, give complete Admes City Council minutes as edited by Shrader. Prepared by William C. Page. Public Historian Address 104 Southwest Fourth Street Des Moines Organization The Dunbar/Jones Partnership For Office of Historic Preservation 1. Office Information Sources on this Property [] County Resource File	Date Fall 1991 IA 50309 Telephone 515/280-8026 Use Only [] Review and Compliance Project:
the period. 22. Sources (for primary and secondary sources, give complete *Ames City Council minutes as edited by Shrader. Prepared by	Date Fall 1991 IA 50309 Telephone 515/280-8026 Use Only [] Review and Compliance Project: [] Other
the period. 22. Sources (for primary and secondary sources, give complete *Ames City Council minutes as edited by Shrader. Prepared by	Date Fall 1991 IA 50309 Telephone 515/280-8026 Use Only [] Review and Compliance Project:
the period. 22. Sources (for primary and secondary sources, give complete *Ames City Council minutes as edited by Shrader. Prepared by	Date Fall 1991 IA 50309 Telephone 515/280-8026 Use Only [] Review and Compliance Project: [] Other [] Other
the period. 22. Sources (for primary and secondary sources, give complete *Ames City Council minutes as edited by Shrader. Prepared by William C. Page. Public Historian Address 104 Southwest Fourth Street Des Moines Organization The Dunbar/Jones Partnership For Office of Historic Preservation II. Office Information Sources on this Property [] County Resource File [] Windshield Survey [] National Register [] Grants-in-Aid: [] Determination of Eligibility	Date Fall 1991 IA 50309 Telephone 515/280-8026 Use Only [] Review and Compliance Project: [] Other [] Other
the period. 22. Sources (for primary and secondary sources, give complete *Ames City Council minutes as edited by Shrader. Prepared by	Date Fall 1991 IA 50309 Telephone 515/280-8026 Use Only [] Review and Compliance Project: [] Other [] Other [] Other [] Other
the period. 22. Sources (for primary and secondary sources, give complete *Ames City Council minutes as edited by Shrader. Prepared by	Date Fall 1991 IA 50309 Telephone 515/280-8026 Use Only [] Review and Compliance Project: [] Other [] Other [] Other [] Other [] Other [] Other
the period. 22. Sources (for primary and secondary sources, give complete *Ames City Council minutes as edited by Shrader. Prepared by	Date Fall 1991 IA 50309 Telephone 515/280-8026 Use Only [] Review and Compliance Project: [] Other [] Other [] Other [] Other [] Other [] Other
the period. 22. Sources (for primary and secondary sources, give complete *Ames City Council minutes as edited by Shrader. Prepared by	Date Fall 1991 IA 50309 Telephone 515/280-8026 Use Only [] Review and Compliance Project: [] Other [] Other [] Other [] Other 3. Photo Images

	wa State Department of Capitol Complex	काताचा स्यावाड		District Name	92
	es Moines, Iowa 50319			Map Reference	
Id	entification				
1.	. Site Name				
	Village/Town/City		Township_WAS		inty STORY
	Street Address		•		•
4.	. Legal LocationUrban:		on block	parcel	subparcel
	Rural:	township	range	section	1/4 section of 1/4 section
5	. UTM Location: zone	easting	northing	: Acreage	
6	. Owner(s) Name				
. 7.	. Owner(s) Address	(Street address)	(City	,	(State) (
					, , , ,
. 8	. Use: Present	COMMERCIAL	Original_	COMMERCIA	AL .
De	escription				
	•	OTD CA 1000	A 1 * 10 ** 1		
10	. Date of Construction: _ Building Type	CIRCA 1928	Architect/Builder		4
10	single-family dwell	ing [] industrial	[other institutional	[_] religious
		elling education		public	agricultu
11	[X] commercial . Exterior walls: [_]	clapboard [] stone	[X] brick [] board an	d hatten [1sh	ingles [_] stucco
	other	ciapocata 🔲 siono			
12	. Structural System: [_]	wood frame with interlo	ching joints [] woo	frame with light n	nembers (halloon frame)
12	[X] masonry load-beari	ng walls iron fram	ne [] steel frame	with curtain walls	reinforced concrete
	other				
. 13	Condition: [] exce	ellent [X] good [1 fair [] deteriora	ted	
	. Condition:	site [] movedif so, w	hen?		
	 Integrity: [X] original Notes on alterations, ad 	site [] movedif so, widitions (with dates and a	hen?		ntures of building and site
14	Notes on alterations, ad (see ne:	site [] moved—if so, w ditions (with dates and ar ct page)	when?	ny other notable fea	
14	Notes on alterations, ad (see ne: Related Outbuildings at [] other	site [] moved—if so, we ditions (with dates and and trage) and Property: [] barn	when? rehitect, if known) and a other farm structure	ny other notable fea	
14	. Integrity: [X] original Notes on alterations, ad (see ne: Related Outbuildings at	site [] moved—if so, we ditions (with dates and and trage) and Property: [] barn	when? rehitect, if known) and a other farm structure	ny other notable fea	
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14 15 16 17	. Integrity: [X] original Notes on alterations, ad (see ne: see ne: Related Outbuildings at [] other . Is the building endanger . Surroundings of the bu [] industrial	site [] movedif so, we ditions (with dates and are trage) and Property: [] barn red: [X] no [] yesif ilding: [] open land []	chen?	ny other notable fears s [] carriage hou l outbuildings [] ooking NE Photo	densely built-up [X] congrapherWirth
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14 15 16 17	. Integrity: [X] original Notes on alterations, ad (see ne: . Related Outbuildings at [_] other Is the building endanger. Surroundings of the bu [_] industrial	site [] movedif so, we ditions (with dates and are trage) and Property: [] barn red: [X] no [] yesif ilding: [] open land []	chen?	ny other notable fears s [] carriage hou l outbuildings [] ooking NE Photo	densely built-up [X] congrapherWirth
14 15 16 17	. Integrity: [X] original Notes on alterations, ad (see ne: . Related Outbuildings at [_] other Is the building endanger. Surroundings of the bu [_] industrial	site [] movedif so, we ditions (with dates and are trage) and Property: [] barn red: [X] no [] yesif ilding: [] open land []	chen?	ny other notable fears s [] carriage hou d outbuildings [] ooking NE Photo	densely built-up [X] congrapherWirth
14 15 16 17	. Integrity: [X] original Notes on alterations, ad (see ne: . Related Outbuildings at [_] other Is the building endanger. Surroundings of the bu [_] industrial	site [] movedif so, we ditions (with dates and are trage) and Property: [] barn red: [X] no [] yesif ilding: [] open land []	chen?	ny other notable fears s [] carriage hou d outbuildings [] ooking NE Photo	densely built-up [X] congrapherWirth

Significance (Indicate sources of information	on for all statements)			
20. Architectural Significance [] a. Ames Contributing (Key structure/ind	lividually may qualify fo	or the National Re	egister)	
b. Ames Compatible (Contributing structure) Contributing (Not eligible/intributing)				
This is a two-story, brick commercial building is related to its neighbor to the east, 215 5th St latter building is only one-story. The building windows on the second floor, two panels worl band above the panels, and finally a cornice als mirror those at 215. Although the first floor habuilding may remain extant behind the vertical area.	reet, in architectura at 217 features 1/1 ked in brick above so worked in brick. as been greatly alter	I concept, alth double hung the windows, These architered, original for	nough this sash type a two-course ectural details abric of the	_
This building is architecturally significant beca commercial style of architecture in Ames.	use it calls attention	to the influer	nce of the	
21. Historical Significance Theme(s) [] a. Key structure/individually may qualify for the N [x] b. Contributing structure (Ames Compatible) [] c. Not eligible/intrusion (Ames Non-Contributing)		Contributing)	7	
This building is significant because it calls atte Street during the 1920s. A boom time for the central business district into 5th Street is indica-	local Ames econom	ny, the extensi		
22. Sources (for primary and secondary sources, give con Ames City Council minutes as edited by Shrad		tion: author, titl	e, place of publication, d	ate, etc
Prepared by William C. Page. Public Historian		Date	Fall 1991	
Address 104 Southwest Fourth Street Des Moin Organization The Dunbar/Jones Partnership	nes, IA 50309	_Telephone	515/280-8026	
For Office of Historic Preservation	Use Only			
Office Information Sources on this Property [] County Resource File	[] Review and	d Compliance Pr	roject	
Windshield Survey	[] Other			
[] National Register	[] Other			
[] Grants-in-Aid: [] Determination of Eligibility	[] Other			
2. Subject Traces	***************************************	3. Photo I	mages	
a				
b				
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е.				***************************************
,				
	•			

Site Number	093		
District Name_			
Map Reference	•	•	

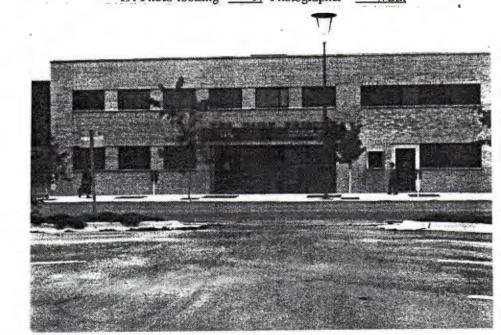
Site Name					CHOPII	
		_Township	WASHIN	GION Coun	ty STORY	
	301 5TH STREET					
Legal Location	· · ·					
Urban: Rural:	subdivision township	-		parcel section		00
UTM Location: zone	easting	northing		; Acreage		
Owner(s) Name			et en en g			
Owner(s) Address				· · · ·		
	(Street address)		(City)		(State)	(Zip)
Use: Present	COMMERCIAL		Original CO	MMERCIA		
scription				-		
Date of Construction:	1980S	Architect/B	uilder			
Building Type	. '		-			
[] single-family dwelli						
	elling [] education		[_] publi	ic	[] agri	cultural
[X] commercial	2					
	clapboard [] stone [X] brick []	board and batt	en [] shin	gles [] stuc	co
other		· · · · · · · · · · · · · · · · · · ·		-		-
Structural System: []	wood frame with interlocking	ng ioints	[] wood fram	e with light me	embers (balloon fr	ame)
[X] masonry load-bearing walls [] iron frame [] steel frame with curtain walls [] reinforced concrete						
		L				
		.1	*			
			deteriorated			
Motor on elterations of	site movedit so, when	toot if Image	n) and any art	or notable for-	reas of building	ed cita:
(see nex	it page)					
[] other			structures [] carriage hous	e [] garage] privy
Is the building endanger	ed: [X] no [] yesif so,	why?				
Curroundings of the bui	lding: [] open land [] wo	rodland []	scattered outh	nildinge [] de	neely huilt-up C	a common
		AMIGUAL .	scattered ville		MINUTE UUILEUU 1/	
industrial [residential of	her				zj commerc
	Village/Town/City_ Street Address Legal Location	Village/Town/CityAMES Street Address301 5TH STREET Legal Location	Village/Town/CityAMESTownship Street Address301 5TH STREET Legal Location	Village/Town/City AMES Township WASHIN Street Address 301 5TH STREET Legal Location	Village/Town/City AMES Township WASHINGTON Cound Street Address 301 5TH STREET Legal Location	Village/Town/CityAMES



] a.	Ames Compatible Ames Noncontributing	(Key structure/individu (Contributing structure (Not eligible/intrusion)	for the National R	egister)	
•	Constr	ucted, it appears, in the	e 1980s, this building	is an instrus	ion in an histor	ic district.)
							٠
1	[] a. [] b.	al Significance Key structure/individually a Contributing structure (Am Not eligible/intrusion (Am	es Compatible)	l Register (Ame	s Contributing)	1	
1	Histori	cal significance is not	claimed for this build	ing because of	of its recent con	struction.	
22.	Source	s (for primary and seconda	ry sources, give complete	e facts of public	cation: author, titl	e, place of publication, o	late, etc
Add	ress		Street Des Moines, I.	A 50309	Date Telephone	Fall 1991 515/280-8026	
		n The Dunbar/Jones Part		0.1		•	
		fice of Historic		•	10 " "		
	[] Cou	nformation Sources on this nty Resource File			and Compliance P		-
	[] Wind	dshield Surveyonal Register		[] Other			
1	[] Gran	ts-in-Aid: rmination of Eligibility		[] Other			
	Subject				3. Photo	Images	
a.							
b							

Site Number	094	
District Name		
Man Reference		

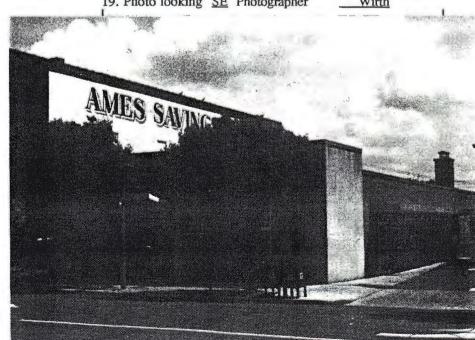
	A COLL LY COURT OF A	A CONTRACTOR OF THE CONTRACTOR					
i.	Site Name	THE DAILY TRIBUN	E BUILDIN	IG .			
	Village/Town/City	AMES	Township	WASHING	FON County	STORY	
	Street Address						
4.	Legal Location	1		lin plion	re twols.	1938.	
	Urban: Rural:	subdivision township	blo	ck		parcel ection of 1/4 section	
5. 6.	UTM Location: zone Owner(s) Name	easting	northing	· · · · · · · · · · · · · · · · · · ·	Acreage		
7.	Owner(s) Address					i	
		(Street address)		(City)		(State)	(Zip)
8.	Use: Present	COMMERCIAL	Ori	ginal COM	MERCIAL	*	
)e	scription						
	Date of Construction: _ Building Type [_] single-family dwelli [_] multiple-family dwelli		_Architect/Buil		ARD WOLF	[_] religio	
1.	[X] commercial Exterior walls: [] other	clapboard [] stone [X	[] brick [_] bo	oard and batten	shingles	stucco).
2.		wood frame with interlocking walls [] iron frame					
	Integrity: [X] original	ellent [X] good [] fi site [] movedif so, wher ditions (with dates and archi-	1?		notable features o	of building and	site:
5.	Related Outbuildings ar	nd Property: [] barn [] other farm str	ructures [] c	arriage house [_] garage [_] privy
6.		ed: [X] no [] yesif so,	why?				
		ilding: [] open land [] wo	•	attered outbuild	lings [] densel	y built-up [X]	commercial
8	Man		10 D	hoto looking	N Photogra	pher Wirt	h



Significance	(Indicate sources of information	ation for all statements)			
20. Architectural Signif [] a. Ames Contribut [] b. Ames Compatib [] c. Ames Noncontr	ing (Key structure/ cle (Contributing s		for the National	Register)	
portion was built in front portion on the The clinic was the M minutes, in 1938. L	tuilding is a complex that 1939, the front portion of east was built in 1951, a lo Farland Medical Build eonard Wolf, who was briginal McFarland Clini	on the west was built according to the 1920 ling planned, according the ad of the architectu	in 1947 as a updated Sain in 1947 as a pupdated Sain in 1948 (clinic, and the aborn map. City Council)
Register 50-year cut historic commercial Wolf's connection w architectural signific research is advised.	sible portion of this build- off date, this building is district. Because of the rith Iowa State, this build ance of the building is h This is an important bui on of its integrity is high	s evaluated as intrusi e documented archite ding might qualify for high because of these ilding in Ames centr	ve/non-contr ct's design, h or criteria exc connections,	ibuting in an owever, and ception. The cand further	
[] b. Contributing str	Theme(s)		Contributing)		
Further research is a Ames medicine. Moresidence.	divsed concerning the McFarland patronized other	AcFarland medical preer work from Leonan	actice, an im d Wolf, inclu	portant name in ding a	
22. Sources (for primary as	nd secondary sources, give o	complete facts of publication	ation: author, t	itle, place of publication	, date, etc
*Sanborn fire insurance	for 1926 updated.				
Prepared by William C.	Page, Public Historian		Date	Fall 1991	
Address 104 Southw	est Fourth Street Des M	oines IA 50309			
Organization The Dunbar		Onics. IA 30307	rerephone	313/280-6020	
For Office of Hi	storic Preservatio	n Use Only			
Office Information Sour [] County Resource Fil	e	[] Review ar	nd Compliance	Project:	
[] Windshield Survey		[] Other			
[] National Register _		[] Other			
[] Grants-in-Aid: [] Determination of Eli	igibility	[] Omer			
	· -	61.4	3. Photo	Images	
2. Subject Traces					
a		7			
U+					
c					
a	-				
VI					

Site Number	089
District Name	
Map Reference	

	*						
1.	Site Name	COMMERCIAL BUI	LDING				
2.	Village/Town/City		Township_	WASHI	NGTON Con	inty STORY	
3.	Street Address						
4.	Legal Location	,					
	Urban: Rural:	subdivision township	_	ock	parcel	subparcel 1/4 section of 1/4 section	on
5.	HTM Location: zone	easting	northing		: Acreage		
6.	Owner(s) Name						
7.	Owner(s) Address			`-		;	
		(Street address)		(City)	'	(State)	(Zip)
8.	Use: Present	COMMERCIAL	o	riginal <u>C</u>	COMMERCIA	AL ,	
De	scription						
9.	Date of Construction:	POST WW II	Architect/Bu	ilder			
	Building Type [] single-family dwelli [] multiple-family dwelli [X] commercial	ing [_] industrial			her institutional blic		gious cultural
11.		clapboard [] stone [2	C) brick [] }	ooard and ba	atten [] sh	ingles [] stud	co .
12.	[X] masonry load-bearing	wood frame with interlocking walls [] iron frame	ste				
12	Condition: []avec	ellent [X] good [_]	foir []	lateriorated			
		site [] moved-if so, whe		icica ionaicon			
		lditions (with dates and arch) and any o	other notable fea	atures of building ar	d site:
	Related Outbuildings as	nd Property: [] barn [tructures	carriage ho	use [] garage	☐ privy
16.	Is the building endanger	red: [X] no [] yes-if so	, why?				
17.		ilding: [] open land [] w [] residential [] of			tbuildings []		() commercial
18.	Мар		19.	Photo look	ting <u>SE</u> Photo	grapher W	inth .

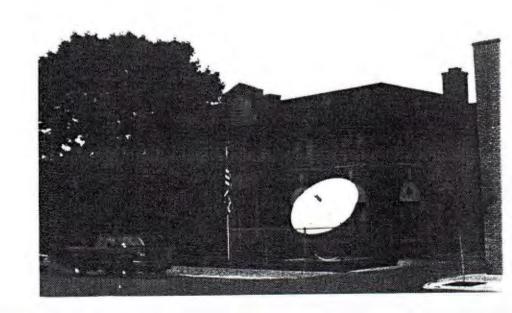


	sources of information for all statements)
20. Architectural Significance [] a. Ames Contributing	(Key structure/individually may qualify for the National Register)
[] a. Ames Contributing [] b. Ames Compatible	(Contributing structure)
[x] c. Ames Noncontributing	(Not eligible/intrusion)
Ames Savings & Loan Associ	
	mercial building with cast concrete veneer panels and a one-room
wide facade. Constructed after	er World War II, this building is an intrusion in an historic district.
74	
•	· ·
, .	· ·
	eme(s)
[] a. Ames Contributing	(Key structure/individually may qualify for the National Register)
[] b. Ames Compatible	(Contributing structure)
[x] c. Ames Noncontributing	(Not eligible/intrusion)
Prior to 1911, this block of M	ain Street was almost entirely residential. Between 1911 and
	ock shifted into mostly commercial use.
	Desir Control and
At an earlier time, the Ames b	ans station occupied this site
The unit of the state of the st	as success over the same
22. Sources (for primary and secondar	ry sources, give complete facts of publication: author, title, place of publication, date,
be bounded from printing und bootstand	J sources, give complete races or publication. and or, race, prace of publication, tate,
_	
•	
Prepared by William C. Page, Publi	
	Street Des Moines, IA 50309 Telephone 515/280-8026
Organization The Dunbar/Jones Partn	ership
For Office of Historic 1	reservation Use Only
1. Office Information Sources on this	Property [] Review and Compliance Project:
[] County Resource File	
[] Windshield Survey	[] Other
[] National Register	[] Other
[] Grants-in-Aid:	[] Other
[] Grants-in-Aid: [] Determination of Eligibility	
	3. Photo Images
2 Subject Tenana	-
2. Subject Traces	
a	
a b	

Site Number	095
District Name_	
Man Reference	

ion

Ide	entification						
1.	Site Name	THE TRIBUN	NE PUBLISH	ING COMPA	NY BUILDI	NG	
	Village/Town/City	AMES		vnship WASH			Y
	Street Address	317-319 5TH					
	Legal Location	•					
	Urban: Rural:		division ^{ship}	block range	parcel section	subparcel 1/4 section of 1/4	section
5.	UTM Location: zone	easting	north	ing:	: Acreage		
6.	Owner(s) Name	9		3			
7.	Owner(s) Address				. ,		i
	•	(Street add	ress)	(City)	•	(State)	(Zip)
8.	Use: Present	COMMERCI	AL	Original	COMMERCI	AL	
De	scription						
9	Date of Construction:	AFTER 1926	k Arch	itect/Builder			*
	Building Type	111 121 1220		. Decy Dollars			*
	single-family dwelli	ng [] indu	strial		ther institutions	u []:	religious
	multiple-family dwe	elling [] educ	ation	[_] p	oublic		agricultural
	[X] commercial						
11.		clapboard [_] st	one [X] bric	k board and	batten s	hingles []	stucco
	other						,
12.	Structural System:	wood frame with	interlocking joir	its wood f	rame with light	members (balloo	n frame)
	[X] masonry load-bearing		on frame	steel frame v	with curtain wall	is reinforced	1 concrete
	other						
	Condition: [] exce			[_] deteriorated	đ		
14.	Integrity: [X] original	site [] moved-	if so, when?				
	Notes on alterations, ad		and architect, if	known) and any	other notable fe	eatures of building	g and site:
15	Related Outbuildings an	t page)	ham []atha	form atmostrations	[] comicas ha		f 1
13.	other	a Property:	Dam Oute	Tarin suucuites	carrage no	ouse [] garage	privy
16.	Is the building endanger	ed: [X] no []	yesif so, why?				
17.	Surroundings of the bui	Idino: [] open l	nelboow [] bne	d [] scattered o	outhuildings []	l denselv huilt-un	[X] commercial
		_] residential				donsory canteup	[12] Commercial
10				10 31			
18.	Мар		is pull-orabely win and amount about work or of its	19. Photo loo		hotographer	Wirth



	rces of information for all statements)			
20. Architectural Significance [x] a. Ames Contributing	(Key structure/individually may qualify	for the National Re	egister)	
[] b. Ames Compatible	(Contributing structure)	101 110 110 110	,62.41)	
[] c. Ames Noncontributing	(Not eligible/intrusion)			
				7
, , , , , , , , , , , , , , , , , , , ,				
21. Historical Significance Them	ne(s) y qualify for the National Register (Ames	Contributing)		
[x] b. Contributing structure (Ames	Compatible)	Conditioning)		
[] c. Not eligible/intrusion (Ames			· /*	
	11:1:	ather Assess Des	L. Tallana Daile	
This building was constructed t	o serve as the publishing plant for	or the Ames Dai	ly Iribune. Built	
snortly after 1920 (and unlisted	on the Sanborn map of that year tion to the commercial upbuilding	of 5th Street	ly instoricany	
Significant because it cans after	hood had been given over to resid	dential and reli	gioue buildings	
The growing complexity of Am	nes' commerce and the booming lo	ocal economy r	gious oundings.	
overagion of the control business	ss district into 5th Street during t	the 1020s Buil	dings such as this	
expansion of the central busines	et being redeveloped to meet spec	rific service nee	de of the	
	t being redeveloped to meet spec	THIC SELVICE HEE	ds of the	
community.				
22. Sources (for primary and secondary	sources give complete facts of public	ation: author title	e place of publication date	etc
22. Doubles (101 printing and secondary	source, give complete men or prome		o, pasee of pasiention, take,	000
* Sanborn fire insurance map for 192	26.			
				-
Prepared by William C. Page, Public	Historian	Date	Fall 1991	
Address 104 Southwest Fourth St		Telephone	515/280-8026	_
Organization The Dunbar/Jones Partner	ship			
•				
For Office of Historic Pi	reservation Use Only			
	•			
1. Office Information Sources on this Pr	roperty [] Review a	nd Compliance Pr	oject:	
[] County Resource File				
Windshield Survey	Other			
[] National Register	Other			-
[] Grants-in-Aid:	. [] Other			,
[] Determination of Eligibility				
		3. Photo I	mages	
2. Subject Traces			3	
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a				
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C				
d				
e				

Bureau of Historic Preservation Iowa State Department of Cultural Affairs Capitol Complex Des Moines, Iowa 50319

01011411104 025	Site Number_	095	
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CONTINUATION SHEET

Significance

20. Architectural Significance

This is a two-story, brick commercial building, which is unusual in Ames because it is free-standing. The building features a symmetrically designed facade with four bays flanking a central entrance bay. The entrance bay is outset from the main block of the facade with a pediment and cast concrete plaque with "Tribune" and a geometric design. The other bays are defined as insets worked in brick. These bays contain the building's windows. On the first floor they are paired, 1/1 double hung sash type surmounted by arched cavities, which feature geometric decorations and cast concrete keystones. The second floor windows are also 1/1 double hung sash type, but without the arched motif on the first floor. Brickworked brackets are situated above the second floor windows. These brackets are flush with the main block of the building.

This building is signficant as an outstanding example of the commercial style of architecture as practiced in Ames. Although an architect has not yet been identified for this building, it was almost certainly professionally planned.

Site Number	096	
District Name		
Map Reference		

in in its and						
Site Name			LDING			
Village/Town/City	AMES	Township	WASH	HINGTON Coun	ty STORY	
Street Address	401 5TH STREET					
Legal Location						
Urban: Ruzal:	subdivision township			parcel section	subparcel 1/4 section of 1/4 section	
UTM Location: zone	easting	northing		: Acreage		

	(Street address)		(City)		(State)	(Zip)
Use: Present	COMMERCIAL		Original	COMMERCIAI		
scription						
Date of Construction:	19805	Architect/B	nilder			
	ing [] industrial		[](ther institutional	[] religi	OHS
	oning codecation		٠. السا	10110		and an
	claphoard [] stone [Kilbrick [1	hoard and	hatten [] shin	oles []stucce	1
	carpoone [] store [2	I) DITOR [ooma ana		Pres Prese	
		[_] st	eel frame	with curtain walls	reinforced cond	rete
other					· · · · · · · · · · · · · · · · · · ·	
Condition: [lexce	ellent DXI good [1]	fair []	deteriorate	ď		
			DOM TOTAL	u		
Notes on alterations, ad	ditions (with dates and arch	itect if know	n) and any	other notable featu	res of building and	site-
		Moon, Marion,	ii) will will	Outor Household House	and or culture and	5165.
		lother farm	structures	[] carriage house	e []garage [] privy
	L. Control	J Other Marin	ou actualed	carrago noas	Smale	_ privy
	red: [X] no [] yes-if so	, why?				
Communation Cat- 1	93: []1 []					
Surroundings of the bu	uding:open landw	oodiand []	scauered (outoundings [] de	insery built-up [X]	commercia
		mer				
Man		10	Photo loc	oking NF Photogr	anher Wirt	h
		1.	2 11040 100	THE LIVER	- 19 ME	<u></u> .
	Village/Town/CityStreet Address	Village/Town/City AMES Street Address 401 5TH STREET Legal Location Urban: subdivision Rural: subdivision Cowner(s) Name Owner(s) Name Owner(s) Address (Street address) Use: Present COMMERCIAL Scription Date of Construction: 1980S Building Type Single-family dwelling industrial multiple-family dwelling education [X] commercial Exterior walls: clapboard stone fame Structural System: wood frame with interlocking masonry load-bearing walls iron frame other Condition: excellent [X] good iron frame other Condition: excellent [X] good iron frame other Condition: excellent [X] good iron frame other Condition: other Rural: subdivision (Street address)	Village/Town/City AMES Township Street Address 401 5TH STREET Legal Location Urban: subdivision b Rural: subdivation subdivision subdivision subdivision subdivision subdivisio	Village/Town/City AMES Township WASH Street Address 401 5TH STREET Legal Location Urban: Subdivision block range UTM Location: Zone easting northing Owner(s) Name Owner(s) Name (Street address) (City) Use: Present COMMERCIAL Original Scription Date of Construction: 1980S Architect/Builder Building Type I single-family dwelling education I publicle-family dwelling education I publicle-family dwelling industrial exterior walls: clapboard structural System: data wood frame with interlocking joints wood frame of the content of the content integrity: [] wood frame with interlocking joints wood frame with interlocking joints [] wood frame [] other [] other [] deteriorate [] other [] excellent [X] good [] fair [] deteriorate [] other [] woodland [] scattered of the building endangered: [X] no [] yes—if so, why? Surroundings of the building: [] open land [] woodland [] scattered of [] industrial [] residential [] other [] other [] other [] presidential [] other [] ot	Village/Town/City	Village/Town/City AMES



0	ources of information for all statement	ts)	
20. Architectural Significance [] a. Ames Contributing	(Key structure/individually may qual	lify for the National R	egister)
[] b. Ames Compatible	(Contributing structure)		-8
[x] c. Ames Noncontributing	(Not eligible/intrusion)		
Constructed, it appears, in the	1980s, this building is an instr	usion in an histor	ic district.
	eme(s)		
[] b. Contributing structure (Ame	nay qualify for the National Register (A	mes Contributing)	
[x] c. Not eligible/intrusion (Ame	s Non-Contributing)		
Historical significance is not c	claimed for this building because	e of its recent con	struction.
•			
<i>\$</i>			
•	•		
repared by William C. Page, Public		Date	Fall 1991
ddress 104 Southwest Fourth	Street Des Moines, IA 50309	Talantana	515/280-8026
broomingtion The Dumbor/Iones Doeses		Telephone	3131200-0020
rgameation the DundayJones Parti		I elephone_	3131200-0020
	ership	I elephone_	3131200-0020
For Office of Historic I	Preservation Use Only		
For Office of Historic I	Property [] Review	w and Compliance P.	
For Office of Historic I Office Information Sources on this	Preservation Use Only Property [] Review	w and Compliance P.	roject:
Office Information Sources on this [] County Resource File [] Windshield Survey [] National Register	Preservation Use Only Property [] Review [] Other	w and Compliance P	roject:
Office Information Sources on this [] County Resource File [] Windshield Survey [] National Register	Preservation Use Only Property [] Review [] Other	w and Compliance P	roject:
Office Information Sources on this [] County Resource File [] Windshield Survey	Preservation Use Only Property [] Review [] Other	w and Compliance P	roject:
Office Information Sources on this: [] County Resource File	Preservation Use Only Property [] Review [] Other	w and Compliance P	roject:
Office Information Sources on this [] County Resource File	Preservation Use Only Property [] Review [] Other	w and Compliance P	roject:
Office Information Sources on this [] County Resource File [] Windshield Survey [] National Register [] Grants-in-Aid: [] Determination of Eligibility Subject Traces	Preservation Use Only Property [] Review [] Other [] Other	w and Compliance P.	roject:
Office Information Sources on this [] County Resource File [] Windshield Survey [] National Register [] Grants-in-Aid: [] Determination of Eligibility Subject Traces a.	Preservation Use Only Property [] Review [] Other [] Other	w and Compliance P.	roject:
Office Information Sources on this [] County Resource File [] Windshield Survey [] National Register [] Grants-in-Aid: [] Determination of Eligibility Subject Traces a. b.	Preservation Use Only Property [] Review [] Other [] Other	w and Compliance P. 3. Photo	roject:
Office Information Sources on this [] County Resource File [] Windshield Survey [] National Register [] Grants-in-Aid: [] Determination of Eligibility Subject Traces a	Preservation Use Only Property [] Review [] Other [] Other	w and Compliance P. 3. Photo	roject:
[] Windshield Survey [] National Register [] Grants-in-Aid: [] Determination of Eligibility 2. Subject Traces a b c	Preservation Use Only Property [] Review [] Other [] Other	w and Compliance P. 3. Photo	roject:
Office Information Sources on this [] County Resource File [] Windshield Survey [] National Register [] Grants-in-Aid: [] Determination of Eligibility Subject Traces a b c d	Preservation Use Only Property [] Review [] Other [] Other	w and Compliance P. 3. Photo	roject:

Site Number	097	
District Name		
Map Reference		

1.	1. Site Name COMMERCIAL BUILDING	
2.	2. Village/Town/City AMES Township W/	ASHINGTON County STORY
3.	3. Street Address 108 5TH STREET	
4.	4. Legal Location	
	Urban: subdivision block Rural: township range	parcel subparcel section 1/4 section
5.	5. UTM Location: zone easting northing	; Acreage
6.	6. Owner(s) Name	
7.	7. Owner(s) Address	
	(Street address) (C	ity) (State) (Zip)
8.	8. Use: Present COMMERCIAL Origina	at COMMERCIAL
De	Description	
9.	9. Date of Construction: BET, 1920-1926* Architect/Builder	
	10. Building Type	
] other institutional religious
	multiple-family dwelling education	public agricultural
	[X] commercial	
11.		and batten
	other	
12.	 Structural System: [] wood frame with interlocking joints [] wo [X] masonry load-bearing walls [] iron frame [] steel fra [] other 	ood frame with light members (balloon frame) me with curtain walls reinforced concrete
13	13. Condition: [] excellent [X] good [] fair [] deterior	orrated
	14. Integrity: [X] original site [] moved—if so, when?	Jacob Lander Lan
	Notes on alterations, additions (with dates and architect, if known) and (see next page)	any other notable features of building and site:
15.	15. Related Outbuildings and Property:	res [] carriage house [] garage [] privy
	[] other	
16.	16. Is the building endangered: [X] no [] yesif so, why?	
17.	17. Surroundings of the building:	red outbuildings [] densely built-up [X] commercial
	industrial other other	
18.	18. Map 19. Photo	o looking S Photographer Wirth



Significance (Indicate sources of information for	or all statements)
20. Architectural Significance [] a. Ames Contributing (Key structure/individual (Contributing structure)] [] c. Ames Noncontributing (Not eligible/intrusidual (Not eligible (Not	
This is a two-story, brick building with a one-root and 1926, this building has hollow tile block load architectural details worked in brick. These inclubrackets paired topped by cast concrete coping with brackets. The facade has been repointed in areas of the building. The storefront area of the building storefront itself has been altered. The second floare 1/1 double hung sash in type and appear to be This building is significant because it calls attention practiced in Ames. The original windows on the building, and the owners are encouraged to retain the building are distracting and not original to it be the integrity of the building.	de a simple cornice achieved through six th three crenelations above the paired with mortar lighter in color than the balance g retains its original cavity although the or has two sets of paired windows. These original to the building. On to the commercial style of architecture as second floor are important features of the them. The light colored panels attached to
21. Historical Significance Theme(s) [] a. Key structure/individually may qualify for the Natio [x] b. Contributing structure (Ames Compatible) [] c. Not eligible/intrusion (Ames Non-Contributing) This building calls attention to the extension of the Street during the 1920s and the upbuilding of this about 1920, for example, this site was vacant.	e Ames central business district into 5th
22. Sources (for primary and secondary sources, give complete * Sanborn fire insurance maps for 1920 and 1926.	ete facts of publication: author, title, place of publication, date,
Prepared by William C. Page, Public Historian	Date Fall 1991
Address 104 Southwest Fourth Street Des Moines.	IA 50309 Telephone 515/280-8026
Organization The Dunbar/Jones Partnership	
For Office of Historic Preservation U	se Only
Office Information Sources on this Property [] County Resource File	[] Review and Compliance Project:
[] Windshield Survey	[] Other
[] National Register	[] Other
[] National Register	[] Other
2. Subject Traces	3. Photo Images
a. b.	
C	
d	
e	

Site Number_	098	
District Name		
Man Reference		

IUC	Enuncation						
1:	Site Name C	COMMERCIAL BUIL					
2.		MES		WASHING	TON County	STORY	
3.	Street Address 1	14-116 5TH STREET	·				
4.	Legal Location						
	Urban: Rural:	subdivision township		ock age		subparcel /4 section of 1/4 section	
5.	UTM Location: zone	easting	northing		; Acreage		
6.	Owner(s) Name						
7.	Owner(s) Address	the second second second					
		(Street address)		(City)		(State)	(Zip)
8.	Use: Present C	OMMERCIAL .	0	riginal CON	MERCIAL	,	
De:	escription			•			
	*						
	Date of Construction:1	926 OR LATER*	Architect/Bu	rilder			
10.	Building Type						
	single-family dwelling				nstitutional	[] religio	
	multiple-family dwelling	ng		public [_]		agricu	itural
1 1	[X] commercial	whend [] stone [V	Therials [] 1	and and battar	. [] abinot	as [] atuans	
11.	Exterior walls: cla	podard [] stone [A	TOUCK []	Marci arki balici	i 🗀 simigi	es [] stucco	
	[] Outel						
12.	. Structural System: [] wo	ood frame with interlocking	ng joints [_] wood frame	with light mem	bers (balloon fran	ne)
	[X] masonry load-bearing	walls iron frame	ste	el frame with c	urtain walls	_] reinforced conc	rete
	other_						
12	Conditions [] a!!-	nt [V] mand [16	nie II.	leteriorated.			
	. Condition: [] excelled. Integrity: [X] original sit			icaca i Oranicu			
17.	Notes on alterations, addit	ions (with dates and archit	tect if known) and any other	r notable feature	e of huilding and	cite:
	(see next p		mon it allows	, and my office		or ounding and	Site.
15.	. Related Outbuildings and		l other farm s	tructures []	carriage house	[] garage [] privy
	[_] other		,			- 0	- P1
16.	. Is the building endangered:	[X] no [] yesif so,	why?		· · · · · · · · · · · · · · · · · · ·		
17	Curroundings of the best di	nas [] anon land []	odland fl.	cottoned author	ldings []d	agler built IVI	
17.	Surroundings of the buildi				idings [] den		commercial
	— — — — — — — — — — — — — — — — — — —						
18.	. Мар		19.	Photo looking	SW Photog	grapher <u>Wirt</u>	<u>h</u>



. Architectural Significance	sources of information for all statements	,	
[] a. Ames Contributing	(Key structure/individually may qualif	y for the National R	egister)
[x] b. Ames Compatible	(Contributing structure)		
[] c. Ames Noncontributing	(Not eligible/intrusion)		
See continuation sheet.			
	•	•	
Historical Significance Th	neme(s) may qualify for the National Register (Am	es Contributing)	
[x b. Contributing structure (Am	es Compatible)	co commontaly	
[] c. Not eligible/intrusion (Am	es Non-Contributing)	1.	
This building is significant be	cause it calls attention to the upb	pilding of 5th Str	reet in the
1920s. In 1926, for example	this site was vacant. In 1920 (a	nd for some year	rs prior to
this), the site had been used f	for "Crook's Feed Yard." The con	struction of this	s impressive
building (with apartments, pr	esumedly, on the second floor) de	emonstrates the	strength of the
Ames economy during the bo	com period of the 1920s and the g	rowing specializ	ed land uses
of property in the central busi	iness district.		
Sources (for primary and seconda	ry sources, give complete facts of publ	ication: author, titl	le, place of publication, date
	1006 about this site areas		
* Sanborn fire insurance map for	1926 shows this site vacant.		
* Sanborn fire insurance map for	1926 shows this site vacant.		
* Sanborn fire insurance map for	1926 shows this site vacant.		
			T. W. 1004
pared by William C. Page, Publ	ic Historian	Date	Fall 1991
pared by William C. Page, Publ dress 104 Southwest Fourth	ic Historian Street Des Moines, IA 50309	DateTelephone	
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pared by William C. Page. Publ dress 104 Southwest Fourth ganization The Dunbar/Jones Parts or Office of Historic	Street Des Moines, IA 50309 nership Preservation Use Only	Telephone	515/280-8026
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Bureau of Historic Preservation Iowa State Department of Cultural Affairs Capitol Complex Des Moines, Iowa 50319

Site Number	098
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CONTINUATION SHEET

Significance

20. Architectural Significance

This is a two-story, brick building with a two-room wide facade. It features polychrome brick. Some of this brick is orange, other brick is either red or dark red. The overall effect is one of rich texture. There is a large brick plaque placed above the storefront. This is an unusual location for the plaque in Ames--usually they occur directly below the building's parapet. As such, the plaque here takes the place of the transom area, which would usually appear above the storefront windows and door on buildings constructed slightly earlier in Ames. Other original features of the building are the front door, the second floor window frames which appear to be metal, and the cast concrete sills on the second floor windows. The building has a rudimentary, brickworked cornice on the facade. Although the storefront of this building has been infilled and detracts from its appearance, these alterations have respected the original cavity of the building and could be reversed.

This building is significant because it is an outstanding example of the commercial style of architecture in Ames at an elemental simplicity. The texture of the building's brick helps relieve this restraint.

Site Number	099
Map Reference	

1.	Site Name	TILDEN MANUFAC	TURING (COMPANY	BUILDING		
		AMES				ty STORY	
	Street Address	208-210 5TH STREET					
	Legal Location						
	Urban: Rural:	subdivision township	-	lock mgs	parcel section	subparcel 1/4 section of 1/4 section	00
		easting			_; Acreage		
7.	Owner(s) Address						
	er er	(Street address)		(City)		(State)	(Zip)
8.	Use: Present	COMMERCIAL		Original CC	MMERCIA	<u> </u>	
De	scription						
9.	Date of Construction:	1927	Architect/B	uilder KIM	BALL, BAL	IE & COWGIL	L
	Building Type						
	[] single-family dwelli	ng [_] industrial		othe	r institutional	[] relig	gious
	multiple-family dwe	elling		[_] publ	ic	[_] agri	cultural
	[X] commercial						
l 1.	Exterior walls: [] other	clapboard [] stone [X	[] brick [_]	board and batt	en [] shin	igles [] stuc	со
12.	Structural System: [] [] masonry load-bearin [] other	wood frame with interlocking walls [] iron frame	ng joints [_] su	wood frame	ne with light me curtain walls	embers (balloon fr [X] reinforced co	ame) ncrete
13.	Condition: [] exce	ellent [X] good [] f	air fil	deteriorated	٠		
	Integrity: [X] original	site [] movedif so, when	n?				
	Notes on alterations, ad (see nex	ditions (with dates and archi	tect, if know	n) and any oth	er notable feat	ares of building an	d site:
	[] other	nd Property: [] barn [structures [] carriage hous	e [] garage	privy
16.	Is the building endanger	red: [X] no [] yesif so,	, why?				
17.	Surroundings of the bui	ilding: [] open land [] wo	oodland [] her	scattered outb	uildings [] de	ensely built-up [2	C] commerci
18.	Мар		19.	Photo lookin	g SE Photogr	rapher Wi	rth



		ance (Indicate tectural Significance	sources of information for	or all statements)					
20.	[x] a. [] b.	Ames Contributing Ames Compatible Ames Noncontributing	(Key structure/individ (Contributing structur (Not eligible/intrusion	re)	y for the National	Register)			
	See co	ontinuation sheet.							
21	Histori	cal Significance Ti	neme(s)				_		
21.	[x] a. [] b.	 [x] a. Key structure/individually may qualify for the National Register (Ames Contributing) [] b. Contributing structure (Ames Compatible) 							
	prima	rst floor was occupied ry occupant. First own ousiness occupied much	ed by Lon Harden, "	The Times" v	vas later owned	d by Galen Tilden.			
	broug	ater date, Galen Tilden ht in Sherman Needhar 1940s. The microfilms	n who operated the M	Ailepost. It w	as there until it	ceased operations			
	Iowa l consu P. Leo	uilding was also used for implement Dealers Assoliting firm, later bought their headed the busine eers since 1929" in the	ociation and two law the building and bas ess. The firm adverti	firms. Lechi ed their opera ised themselve	ner Engineering tions on the se	g, an engineering cond floor. Carl			
	The pl Ames excep	building is significant be henomonen demonstrate has traditionally had list tion. A manufacturer of ets, gowns, et cetera), the	tes the strength of the ttle industry, and the of products related to	local econon Tilden Manuf college and u	ny of Ames dur facturing Comp niversity life (l	ring the period. any is an ike pennants,			
22.	Source	es (for primary and seconda	ry sources, give comple	te facts of publi	cation: author, ti	tle, place of publication,	date, eu		
		ant interview with Farwell ment of Engineering Buildi		s; Filed October	1, 1927.		,		
Pre	pared by	William C. Page, Publ	ic Historian		Date	Fall 1991			
Ad	dress	104 Southwest Fourth on The Dunbar/Jones Part	Street Des Moines.	IA 50309	Telephone	515/280-8026			
		fice of Historic		se Only					
	Office Information Sources on this Property [] County Resource File		[] Review and Compliance Project:						
	[] Win [] Nati	dshield Survey onal Register nts-in-Aid: ermination of Eligibility	_	[] Other_					
2.	Subject		_			Images			
2									
b									
C							_		
					•				

Bureau of Historic Preservation Iowa State Department of Cultural Affairs Capitol Complex Des Moines, Iowa 50319

Site Number	099	
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CONTINUATION SHEET

Significance

20. Architectural Significance

The Tilden Manufacturing Company had occupied, in 1916, the second floor of the Masonic Building. In 1926 Galen Tilden announced that the Tilden Manufacturing Company would build a new 3-story building west of the Masonic Hall. The concept of this building was to be an "extension" of the Masonic Building occupying 140 feet facing on 5th Street (ADT, November 4, 1926, page 1). Discussions had earlier taken place involving the sale of the Masonic Building (ADT, August 11, 1926, page 1), but evidently these fell through. Tilden Manufacturing let the contract for construction of this building to Ben J. Cole of Ames (ADT, September 20, 1927, page 1). The company moved into the building in 1929 and occupied the two top floors. There is a passageway between this building and the Masonic Building. The company retained occupancy of the Masonic Building, and this passageway provided access between the two buildings.

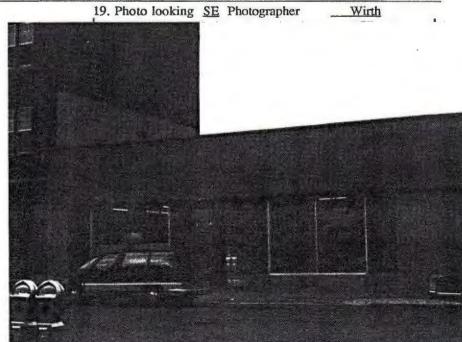
Kimball, Balie & Cowgill, architects of Ames, designed this building and clearly integrated its design with its neighbor to the east, the Masonic Hall. Construction of the Tilden Building further anchored 5th and Douglas as a primary intersection in Ames central business district. This building cost \$45,000 when first constructed.

This building is an outstanding example of a commercial structure in Arnes. First because it is designed by a local architectural firm. Allan Kimball headed Architecture at Iowa State. The building is additionally significant because it employs reinforced concrete as a structural system, somewhat unusual at the time in Arnes central business district. (This structural design relates to the building's function to house a manufacturing firm). The building is also significant because it calls attention to the Tilden family's on-going concern for good architecture in Arnes. The family had, for example, remodeled its building at 409 Douglas to unify architectural design in this street.

Finally, the Tilden Building is significant because it is conceived to and succeeds in complimenting its neighbor to the east, the Masonic Building. Notable features in common between the two are their equal height, their compatible massing, the paired windows which they employ (taller windows on the third floors), 1/1 double hung window sash on the second floor and combination configuration on the third, cast concrete window sills on the second floor which extend across the facades as stringcourses, and stylized lintels over the third floor windows. The Tilden Building adds paired cast concrete geometric blocks above this lintel. No attempt was made to match the brick of the Masonic and the Tilden Buildings. The Tilden Building employs red brown brick on the second and third floors and dark orange on the first floor. This variation in color tends to strengthen the building's horizontal feeling. Although the first floor windows have been infilled and are very distracting, this alteration can be reversed. Windows on the second and third floor appear to be combination aluminum. The building otherwise retains a high integrity.

Site Number	100	
District Name_		
Man Reference		

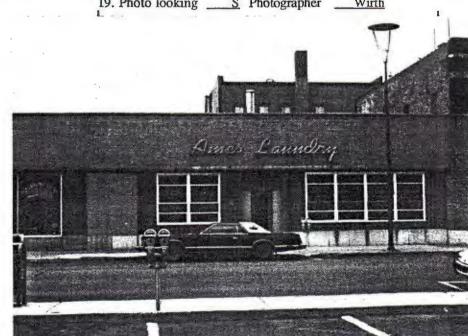
1.	Site Name	COMMERCIAL BUI	LDING				
2.	Village/Town/City	AMES	Township_V	VASHINGTO	N County	STORY	
3.	Street Address	218 5TH STREET					
	Legal Location						
	Urban: Rural:	subdivision township	block range	par sect		subparcel /4 section of 1/4 section	a.
5.	UTM Location: zone	easting	northing	: Ac	reage		
				· ·			
	Owner(s) Address						
		(Street address)		(City)		(State)	(Zip)
8.	Use: Present	COMMERCIAL	Orig	nal COMM	ERCIAL		
De	escription						
9	Date of Construction	CIRCA 1944	Architect/Build	er IOE TOW	INSEND	ARCHITEC	Г
	Building Type	VXX 17 17	I il clinocy D and		1,022,123,	AMOMINE	4
-4.	single-family dwelling	ng [] industrial		other insti	tutional	☐ relig	ious
	multiple-family dwe			public		agric	
	[X] commercial	,					
11.	Exterior walls:	clapboard [] stone	X] brick [] boa	rd and batten	[_] shingl	es [] stuce	00
	other_						
12	Structural Systems []	wood from a with interlocki	na iointe E la	wood frome with	h light mam	hara Challann fun	(a.m.a)
12.	Structural System: [] wood frame with interlocking joints [] wood frame with light members (balloon frame) [X] masonry load-bearing walls [] iron frame [] steel frame with curtain walls [] reinforced concrete						
	other		Sicci i	Tarrie With Chita	in wans i	remnorced con	aete
			-	1			
		llent [X] good [riorated			
14.	Integrity: [X] original	site [] moved-if so, who	n?				
		litions (with dates and arch	itect, if known) a	nd any other not	able feature	s of building an	d site:
10	(see next	t page)	1 -1 -6 -1-				
15.	Related Outbuildings an	d Property: [] barn [_ other farm stru	cuires [carr	iage nouse	☐ garage	privy
16.		ed: [X] no [] yesif so	why?				
	•						
17.		lding:] commercial
	industrial [residential o	ther				
18.	Map		19. Phe	oto looking SE	Photogram	oher Wi	th
1	*		1	0			



-	· ·	sources of information for	r all statements)		
[x] a	attectural Significance a. Ames Contributing b. Ames Compatible c. Ames Noncontributing	(Key structure/individu (Contributing structure (Not eligible/intrusion		Register)	
fean build opac	res a creamy colored bri ding. The storefront has	ck and a chevron design a pair of large, plate good and the chevrons	h an unusually wide facade. ign worked in brick at the to glass windows framed on ei give a vertical feeling to the	p of the ther side by	
emp built	loyee of the Herbert Arth	ur architectural firm 220 was face lifted t	Joe Townsend, architect of of Ames, designed 218. Who match it, according to The ngs.	nen 218 was	
desi the l	gn by a local Ames architate 1930s and 1940s in A Face Lifts on Main move	ect. The building als mes. Finally, the bu	s. First, it is a documented end calls attention to the stream ilding and its neighbor to the movement clearly was not limited.	nlined style of ewest relate to	
[] a [x] b		es Compatible)	al Register (Ames Contributing)		
serv Sho	s attention to the growing ice-related sector of the cp" for many years. This	complexity of commental business distriction of the comments o	an early one) of this building ercial life in Ames and 5th S et. This building also house y significant because it calls ses into 5th Street during the	treet as a d the "We attention to	
22. Sour	ces (for primary and seconda	ry sources, give complet	e facts of publication: author, tit	tle, place of publication, date, etc	
Prepared	by William C. Page, Publ		Date	Fall 1991	
Address_	104 Southwest Fourth tion The Dunbar/Jones Part		A 50309 Telephone	515/280-8026	
	Office of Historic		se Only		
1. Office	e Information Sources on this	Property	[] Review and Compliance F	Project	
[]C	ounty Resource File	-	[] Other		
	National Register		[] Other		
[]G:	[] Grants-in-Aid:		[] Other		
		····	3. Photo	Images	
2. Subje					
a		,			
C					
d					
e					

Site Number	101	
District Name		
Man Reference		

1.	Site Name	AMES LAUNDRY B	UILDING		
2.	Village/Town/City	AMES	Township WAS	HINGTON Co	unty _ STORY
3.	Street Address	220 5TH STREET		_	
4.	Legal Location				
	Urban: Rural:	subdivision township	block range	parcel section	subparcel 1/4 section of 1/4 section
5.	UTM Location: zone	easting	northing	; Acreage	
7.	Owner(s) Address				
		(Street address)	(City)	(State) (Zip)
8.	Use: Present	COMMERCIAL	Original_	COMMERCIA	AL
De	scription				
9:	Date of Construction:	FACELIFT C. 1944	Architect/Builder	OE TOWNSE	ND. ARCHITECT
	Building Type				
	single-family dwelli	ng [] industrial	[1	other institutional	[religious
	multiple-family dwe			public	agricultural
	[X] commercial	*			
11.	Exterior walls:	clapboard [] stone [2	C brick board and	d batten [] sh	ingles [] stucco
	other	· —			-
10	C+				
LZ.		wood frame with interlocki			
	[] other	ng walls iron frame	steel frame	with curtain waii:	s reinforced concrete
	outer				
13.	Condition: exce	ellent [X] good [] i	fair deteriorat	ted	
14.	Integrity: [X] original	site [] movedif so, when	n?	<u>.</u>	
	Notes on alterations, ad	ditions (with dates and archi	itect, if known) and ar	y other notable fea	atures of building and site:
	(see nex				
15.	Related Outbuildings ar	nd Property:] other farm structure	s [] carriage ho	use [] garage [] privy
_	other	,			
6.	Is the building endanger	red: [X] no [] yesif so	, why?		
7	Surroundings of the bui	ilding: [] onen land [] w	codland [] scattered	outhuildings []	densely built-up [X] commercia
. , .		residential [] of		odulumungs [densely built-up [X] commercia
			2174		
8.	Мар		19. Photo le	ooking S Pt	notographer Wirth
	•	ar a	. 1		



9	ources of information for a	ll statements)			
20. Architectural Significance [x] a. Ames Contributing	(Key structure/individual	Iv may qualify fo	or the National Re	oister)	
[] b. Ames Compatible	(Contributing structure)	ly may quainy to	A die Mademar Re	garda.)	
[] c. Ames Noncontributing	(Not eligible/intrusion)				
See continuation sheet.				-	
See continuation sheet.					-
,				*	
#					
[] a. Key structure/individually m [x] b. Contributing structure (Ame	s Compatible)	Register (Ames	Contributing)		
[] c. Not eligible/intrusion (Ame	s Non-Contributing)			3	
This building is historically significant the Ames central business dist	mificant because it cal rict in the 1940s.	ls attention to	the continued	extension of	
22. Sources (for primary and secondar	y sources, give complete	facts of publicat	ion: author, title	e, place of publication, date,	etc
Thelma Duff has several historic pl from Albert G. Wing, saying he bot 1896. The 1900 Sanborn fire insur	ight the Ames Laundry in	1898 and that the	he business had I	has a letter been founded in	
December 11 William C. December 12	YV		D.,	E-II 1001	
Prepared by William C. Page, Public Address 104 Southwest Fourth	Street Des Moines, IA	50300	Date	Fall 1991 515/280-8026	Personal
Organization The Dunbar/Jones Partn		30302	_ rerephone	313/280-3020	-
For Office of Historic I	reservation Use	•			
Office Information Sources on this [] County Resource File	Property	[] Review and	1 Compliance Pro		
[] Windshield Survey		[] Other			
[] National Register	_	Other			
[] Grants-in-Aid:	_	[] Other			-
[] Determination of Engionity					
2. Subject Traces			3. Photo I	mages	
a					
b					
C					
d					
e		***************************************			-

Iowa Site Inventory

Bureau of Historic Preservation Iowa State Department of Cultural Affairs Capitol Complex Des Moines, Iowa 50319

Site Num	ber	101				
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CONTINUATION SHEET

Significance

20. Architectural Significance

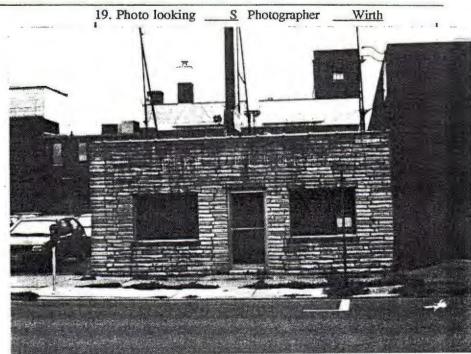
This is a one-story, brick commercial building with an unusually wide facade. The building features a creamy colored brick, a chevron design worked in brick at the top of the building, and another chevron design worked in metal above the front door. The storefront has large windows framed on either side and at the bottom by opaque glass block. The windows themselves are in a combination configuration and made of metal. A neon sign "Ames Laundry" is situated above the storefront. Original to the face lift of this building, the bluegreen color of this sign and the style of its lettering conveys further influences of the streamlined architectural style.

Construction of this building dates prior to 1900 and the building was expanded on the east between 1911 and 1920. This building has, however, been associated with 218 Main Street for half-century. About 1922, Joe Townsend, architect of Ames and employee in Herbert Arthur's Ames architectural firm designed the new building at 218 5th. When it was built, the commercial room at 220 was face lifted to match it, according to Thelma Duff, who supplied much information about these two buildings. Thelma Duff has an historic photograph of the building at 220 before it was face lifted. Joe Townsend later moved to South Dakota. He returned to Ames occasionally and helped Ms. Duff design the home where she presently lives. (This building, adjacent to the Ames city limits, was constructed in 1963).

This building is significant for a variety of reasons. First it is a documented example of a design by a local Ames architect. The building also calls attention to the streamlined style of the late 1930s and 1940s in Ames. Finally, the building relates to the Face Lifts on Main movement in Ames (and clearly demonstrates the movement was not limited to one street).

Site Number_	102	
District Name		
Man Reference		

luc	minication						
	Site Name	COMMERCIAL BUIL					
2.	Village/Town/City	AMES	Townshi	p WASI	HINGTON Co	unty STORY	
	Street Address	326 5TH STREET					
4.	Legal Location	-					
	Urban: Rural:	subdivision township		block range	parcel	subparcel 1/4 section of 1/4 section	ion
5.	UTM Location: zone	easting	northing		: Acreage		
					, ,		
	Owner(s) Address						
		(Street address)	2	(City)		(State)	(Zip)
8.	Use: Present	COMMERCIAL		Original	COMMERCI	AL	
De	escription						
9.	Date of Construction:	PRIOR TO 1926*	Architect/	Builder			
	Building Type			Company de			
	single-family dwelling	ng [_] industrial		110	other institutiona	l [] rel	เอเกแร
	multiple-family dwe				oublic		icultural
	X commercial			Y tumb	,	[] u.g.	200141111
11		clapboard stone [Thrick [I hoard and	hatten [1sl	ningles [] stu	CO
	[+] other	compround [] storic [1 OTHER	J coma and	Control [1] St	migreo 🗀 sta	
10		10		6.7		1 0 11 6	
12.		wood frame with interlocking					
		ig walls iron frame	؛ لِيا	steet trame	with curtain wall	s [] reinforced co	ncrete
	other						
13.	Condition: [] exce	llent [X] good [] f	air f	deteriorate	d		
14.	Integrity: X original	site [] movedif so, when	n?				
		ditions (with dates and archi		wn) and any	other notable fe	atures of building a	nd site:
	(see nex			, , , , , , , , , , , , , , , , , , , ,			
15.	Related Outbuildings an		other farm	n structures	[] carriage ho	use [] garage	[] privy
	[_] other						
16.	Is the building endanger	ed: [X] no [] yesif so	, why?				
17	Surroundings of the buil	lding:	nodland f	1 scattered	nithnildinge []	densely huiltann	YI commanist
	industrial [residential ot		_ scattered (densery bant-ap	AL COMMICICIZI
10	Man		4.7) Db 1	1: 0 5:		*
ıö.	Map	** w3.1m24**	1		oking <u>S</u> Pl		<u>irth</u>
					ROM ()		



20. Architectural Significance [] a. Ames Contributing [] b. Ames Compatible [x] c. Ames Noncontributing	(Key structure/individually may qualify for the National Register) (Contributing structure) (Not eligible/intrusion)
This is a one-story commercial prior to 1926, the facade of this	building with a one-room wide facade. Although constructed s building is now covered with a permastone type material, Because of this alteration to the building, it would be an
21. Historical Significance Then [] a. Key structure/individually ma [] b. Contributing structure (Ames [x] c. Not eligible/intrusion (Ames	
Because of the alterations to the	is building noted above, historical significance does not obtain.
* Sanborn fire insurance map for 19	
Prepared by William C. Page, Public Address 104 Southwest Fourth S	Historian Date Fall 1991 treet Des Moines, IA 50309 Telephone 515/280-8026
Organization The Dunbar/Jones Partne	
For Office of Historic P	reservation Use Only
Office Information Sources on this P [] County Resource File	Property [] Review and Compliance Project:
[] Windshield Survey	[] Other
[] National Register	[] Other
[] Determination of Eligibility	
2. Subject Traces	3. Photo Images
a	
b	
b	
b	

(Indicate sources of information for all statements)

Significance

Iowa Site Inventory Bureau of Historic Preservation

Bureau of Historic Preservation Iowa State Department of Cultural Affairs Capitol Complex Des Moines, Iowa 50319

Site Number	103	
District Name_		
Man Reference		

	1. Site Name H. L. MINERT GARAGE				
2.	2. Village/Town/City AMES Townsh	ip WASHI	INGTON Coun	ty STORY	
3.	3. Street Address 328-330 5TH STREET				
4.	4. Legal Location				
	Urban: subdivision Rural: township	block range	parcel section	subparcel 1/4 section of 1/4 section	
5.	5. UTM Location: zone easting northing		: Acreage		
	6. Owner(s) Name				
	7. Owner(s) Address				
• •.	(Street address)	(City)		(State)	(Zip)
8.	8. Use: Present COMMERCIAL	_OriginalC	COMMERCIAL		<u> </u>
De	Description				
9.	9. Date of Construction: 1926 Architect	/Builder			
	O. Building Type [] single-family dwelling [] multiple-family dwelling [X] commercial Output [X] type [X] type [X] brick [] other [] other [X] brick [] [] other [X] brick [] [] other [X] brick [] [X] brick []	☐ pu		agric	ultural
12.	12. Structural System: [] wood frame with interlocking joints [X] masonry load-bearing walls [] iron frame [] [] other	wood fra steel frame w	ame with light me ith curtain walls	embers (balloon fram [] reinforced cond	ne) rrete
	 Integrity: [X] original site [] movedif so, when? Notes on alterations, additions (with dates and architect, if known in the control of the con	deteriorated own) and any o		ures of building and	site:
15.	(see next page) 15. Related Outbuildings and Property: [] barn [] other farm	m structures	carriage hous	e [] garage [_] privy
	_] other				
10.	16. Is the building endangered: [X] no [] yesif so, why?				
17.	17. Surroundings of the building: open land woodland [industrial other	_] scattered or	ntbuildings [] de	ensely built-up [X]	commercial
18.		19. Photo look	ding <u>SE</u> Photogr	apher Wir	Lh



20.		rces of information for	an statements)			
	. Architectural Significance [] a. Ames Contributing	(Key structure/individua	illy may qualify	for the National R	egister)	
	[] b. Ames Compatible	(Contributing structure			g,	
	[x] c. Ames Noncontributing	(Not eligible/intrusion)				
	This is a one-story, brick commutation building features a beveled commutation automobiles with gasoline. Althorous and garage door cavitie good except for the doors and while building shows the influence of simplicity, massing, and the gararchitecturally because it calls at the service station.	er area covered by a nough gas pumps are is have been infilled rindows and still is the commercial styl- age door on the nor	a roof to prove no longer in, the integrity recognizable of architect th elevation.	ide conveniend n place and may of this building for its origin fure in its restra This building	ce for filling only of the only remains unction. The ined is significant)
						٠
21.	. Historical Significance Them [] a. Key structure/individually may [x] b. Contributing structure (Ames [] c. Not eligible/intrusion (Ames	qualify for the Nationa Compatible)	Register (Ame	s Contributing)		
	This corner lot was acquired in building (ADT, February 8, 192 year as well because it is shown and an auto repair shop.	6, page 1). The pre	sent building	g must have be	en erected in that	
	This building is significant beca district into 5th Street during the between the CBD and the north a convenience for residents of the	e 1920s. The locati ern residential porti	on of this fili	ng station stan	ds somewhat	
22	S		Company of the later of the lat			
22.	2. Sources (for primary and secondary	sources, give complete	facts of public	ation: author, titl	e, place of publication, da	te,
Pre	epared by William C. Page. Public	Historian		ation: author, tit	Fall 1991	te,
Pre Ad	epared by William C. Page, Public Iddress 104 Southwest Fourth Str	Historian reet Des Moines, L				te,
Pre Ad Or	epared byWilliam C. Page. Public Iddress104 Southwest Fourth SurganizationThe Dunbar/Jones Partner or Office of Historic Pr Office Information Sources on this Pr [] County Resource File [] Windshield Survey [] National Register	Historian reet Des Moines, I/ ship reservation Us operty	e Only [] Review at [] Other [] Other	Date Date Telephone nd Compliance P	Fall 1991 515/280-8026	
Pree Add Or, Fee	epared byWilliam C. Page, Public Iddress104 Southwest Fourth SurganizationThe Dunbar/Jones Partner or Office of Historic Pr Office Information Sources on this Pr [] County Resource File [] Windshield Survey	Historian reet Des Moines, I/ ship reservation Us operty	e Only [] Review at [] Other [] Other	Date Telephone nd Compliance P	Fall 1991 515/280-8026 roject:	
Pre Add Or, Fe	epared byWilliam C. Page. Public Iddress104 Southwest Fourth Surganization The Dunbar/Jones Partner or Office of Historic Pr Office Information Sources on this Pr [] County Resource File [] Windshield Survey [] National Register [] Grants-in-Aid: [] Determination of Eligibility	Historian reet Des Moines, I/ ship reservation Us operty	e Only [] Review at [] Other [] Other [] Other	Date	Fall 1991 515/280-8026 roject:	
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Pre Add Or; Fe 1.	epared byWilliam C, Page, Public ddress104 Southwest Fourth SurganizationThe Dunbar/Jones Partner or Office of Historic Pr Office Information Sources on this Pr [] County Resource File [] Windshield Survey [] National Register [] Grants-in-Aid: [] Determination of Eligibility Subject Traces a b	Historian reet Des Moines, I/ ship reservation Us operty	e Only [] Review a [] Other [] Other [] Other	Date	Fall 1991 515/280-8026 roject:	
Pre Ad Or; Fe 1.	epared by	Historian reet Des Moines, I/ ship reservation Us operty	e Only [] Review a [] Other [] Other [] Other	Date	Fall 1991 515/280-8026 roject:	

	Site NameVillage/Town/City	COMMERCIAL BU AMES	Township WASH	INGTON County	STORY
-	Street Address Legal Location Urban:	420-426 5TH STRE			ubparcel
	Rural:	township	range	section 1,	4 section of 1/4 section
6.	Owner(s) Name Owner(s) Address	easting	northing	; Acreage	
,	Owner(s) Address	(Street address)	(City)		(State) (Zip
8.	Use: Present	COMMERCIAL	Original (COMMERCIAL	
De	escription				
9.	Date of Construction:	1965-1980	Architect/Builder		
10.	Building Type single-family dwelli multiple-family dwelli		ot pu	her institutional ablic	[] religious [] agricultural
11.	[X] commercial Exterior walls: other	clapboard [] stone	[X] brick board and b	atten [] shingle	es [] stucco
12.		wood frame with interlocking walls iron frame			oers (balloon frame) _] reinforced concrete
	Notes on alterations, ad	site [] movedif so, who ditions (with dates and arc	fair deteriorated en? hitect, if known) and any		s of building and site:
	other	nd Property: [] barn		carriage house	garage priv
16.	Is the building endanger	ed: [X] no [] yesif s	o, why?		
17.	Surroundings of the bu	lding: [] open land [] residential []	woodland [] scattered or other	ntbuildings [] dens	ely built-up [X] comm
18	Мар	News Profession	19. Photo lool	cing S: Photograp	her Wirth
			4		
			1		
1		4-4		mission to a second	rica
		1/3	All manager make		

0	es of information for all statements)			
[] b. Ames Compatible ((Key structure/individually may qualify Contributing structure) Not eligible/intrusion)	for the National R	egister)	
This is a one-story commercial bu appears to have been built sometic way to traditional design in the ce commercial buildings, an automob facade, the brick surface of the bu- intrusive in an historic commercia	me between 1965 and 1980. The entral business district. It break bile parking lot is located immerial business been painted white.	his building co cs with standard diately in front	onforms in no d set-back for of the)
21. Historical Significance Theme(a) [] a. Key structure/individually may q [] b. Contributing structure (Ames Co [x] c. Not eligible/intrusion (Ames No	qualify for the National Register (Amerompatible)	: Contributing)	Š	
This building does not obtain histo	orical significance because of i	ts late date of c	construction.	
* Sanborn fire insurance map for 1926. Prepared by William C. Page. Public His Address 104 Southwest Fourth Street Organization The Dunbar/Jones Partnerships For Office of Historic Pre	storian et Des Moines, IA 50309 ip	Date	Fall 1991	date, etc
Office Information Sources on this Prop		nd Compliance Pr	nject:	
[] County Resource File				_
[] Windshield Survey	[] Other			
[] National Register[] Grants-in-Aid;				
Determination of Eligibility	[] Outer			
, <u> </u>		a n		
2. Subject Traces	***	3. Photo I	mages	
2				
a. b				
C				
d				
е.				

Site Number	470 Ph	105	
District Name			
Man Reference			

	munication					
1.	Site Name	MOORE BROTHERS	DAIRY BUILDII	NG		
2.	Village/Town/City	AMES	Township WAS	HINGTON Coun	tySTORY	
	Street Address		•			
4.	Legal Location					
	Urban:	subdivision township	block	parcel	subparcel 1/4 section of 1/4 section	
5.	UTM Location: zone	easting	northing	: Acreage		
6.	Owner(s) Name					
7.	Owner(s) Address				Ę	
		(Street address)	(City)		(State)	(Zip)
8.	Use: Present	COMMERCIAL	Original_	COMMERCIAL	<u> </u>	
De	scription					
0	Date of Constructions	1937	Architect/Builder T	TNSI EV MCRI	POOM & HIGH	SIME
	Building Type	1331	Municipanion	MAGLET, MCD	KOOM, & IHO	71149
10.		ing [] industrial elling [] education		other institutional public	[_] religi	
	[X] commercial	ening cucation		puoin	agric	шшш
11.		clapboard [] stone [X	brick board and	hatten [] shin	gles [] stucc	0
	other	emboore Classic St	, or ==		g.co	
12	Structural System: []	wood frame with interlockin	g ioints [] wood	frame with light me	mbers (halloon fra	na)
1 40,		ng walls [] iron frame				
13.	Condition: [] exce	ellent [X] good [_] fa	ir [] deteriorate	ed		
	Integrity: [X] original	site [] movedif so, when	?			
	Notes on alterations, ad	lditions (with dates and architext page)	ect, if known) and an	y other notable featu	res of building and	site:
	Related Outbuildings an	nd Property: [] barn []		carriage house	e 🔲 garage [_] privy
16.	Is the building endanger	red: [X] no [] yesif so,	why?	ą		
17.	Surroundings of the bu	ilding: open land wo	odland [] scattered	outbuildings [] de	ensely built-up [X]	commercia
	industrial [residential oth	ra			



	cance (Indicate s	sources of information for	all statements)			
[x] a.	Ames Contributing Ames Compatible	(Key structure/individua (Contributing structure)		for the National Re	egister)	
	Ames Noncontributing	(Not eligible/intrusion)				
						~
See co	ontinuation sheet.					
21. Histori	ical Significance The	eme(s)		•		
[x] a.	Key structure/individually n Contributing structure (Ame Not eligible/intrusion (Ame	es Compatible)	Register (Ames	Contributing)		
distric The 5 news	building calls attention to ct into 5th Street during 600 block of 5th Street re papers indicate that this a rest of Clark for commer	the 1930s, an indication mains zoned residention was subject to interest to in	on of a strong al until folloy	local economy wing World W	y in Ames. ar II. Ames	
*Build	es (for primary and secondar ling Inspector, City of Ames y William C. Page, Publi	, files.	facts of publica		e, place of publication Fall 1991	, date, etc
	104 Southwest Fourth		50309		515/280-8026	
	on The Dunbar/Jones Partin					
For Of	ffice of Historic l	Preservation Use	Only			
1. Office	Information Sources on this	Property	[] Review an	d Compliance Pr	oject:	_
[] Col	unty Resource File	- Company	[] Other			
[] Nat	ional Register					
[] Gra	ınts-in-Aid:		[] Other	•		
[] Det	nts-in-Aid: termination of Eligibility					
				3 Photo I	mages	
2. Subject	t Traces		-	J. 111010 x	mages	
a.						
b						
c						
d						
e						

Iowa Site Inventory

Bureau of Historic Preservation Iowa State Department of Cultural Affairs Capitol Complex Des Moines, Iowa 50319

CONTINUATION SHEET

Significance

20. Architectural Significance

This is a two-story commercial building with a three-commercial room wide facade. The building features extensive brick detailing. This includes polychrome bands which extend the window lintels of the second story across the entire facade of the building as stringcourses. This conceit relates to stringcourses used in similar ways on the building at 131 Main Street. Three bands worked in brick on the northwest corner wrap around the building and give it something of a streamlined feeling. The building also features metal windows on the second floor, those on the corner also wrapping around the building. A brick pilaster stands outset from the facade approximately one-third distant from the east side of the building and helps define its two separate commercial rooms. Designed by Tinsley, McBroom, and Higgins, architects of Des Moines, this building was constructed by James Thompson and Son.

This building is significant as an outstanding, late example of the commercial style of architecture integrating other eclectic elements into its design.

Site Number	106	
District Name_		
Man Reference		

1.	Site Name	COMMERCIAL BUI	LDING			
	Village/Town/City	AMES	Township WAS	HINGTON Cou	nty STORY	
3.	Street Address	500 5TH STREET	•			
4.	Legal Location					
	Urban; Rural;	subdivision township	block range	parcel section	Subparcel 1/4 section of 1/4 section	
5.	UTM Location: zone	easting	northing	; Acreage		
6.	Owner(s) Name					
7.	Owner(s) Address					
		(Street address)	(City)		(State)	(Zip)
8.	Use: Present	COMMERCIAL	Original_	COMMERCIA	L	
De	scription					
9.	Date of Construction:	1950S	Architect/Builder			
	Building Type					
	single-family dwelli multiple-family dwe			other institutional public	religion agricu	
	X commercial			P	<u></u>	
11.	Exterior walls: [] [] other		X] brick [_] board and	d batten [] shi	ingles)
12.	Structural System: [_] [X] masonry load-bearin [_] other	wood frame with interlocking walls [] iron frame	ing joints [] wood [] steel frame		embers (balloon fram	
13	Condition: [] exce	llent [X] good []	fair [] deteriorat	ori		
		site [] movedif so, who		AAL .		
- "	Notes on alterations, ad	ditions (with dates and arch	itect, if known) and an	y other notable fea	tures of building and	site:
15.		d Property: barn [_] other farm structure:	s [] carriage hou	se [] garage [J privy
16.	Is the building endanger	ed: [X] no [] yesif so	o, why?			
17.	Surroundings of the bui	lding: _ open land _ w	voodland [] scattered		densely built-up [X]	commercial
18.	Мар		19. Photo lo	ooking <u>SE</u> Photog	grapher Wirt	h ,



	all statements)	
20. Architectural Significance [] a. Ames Contributing (Key structure/individu	ally may qualify for the National Regist	er)
[] b. Ames Compatible (Contributing structure		
[] c. Ames Noncontributing (Not eligible/intrusion)	
This is a one-story commercial building with a face	ade non-conforming to standard	-
commercial widths in Ames. The building features	mixed materials on the facade i	ncluding
brick and cast concrete. There is also a band which	h extends the window lintels acr	oss the
entire facade of the building as stringcourses. This	makes a right angle on the wes	t side of
the facade. This feature has feeling of streamlined	architecture. Although an archi	tect for
this building has not yet been identified, it is certain	nly professionally planned.	,
This building is significant as an outstanding, late of More research is necessary to determine its date of evaluated at this time. The building could be an "A	construction. For this reason, i	t is not
is strongly encouraged.	resource and its on going pro-	or varion
is shoughy cheomaged.		h P
		*
21. Historical Significance Theme(s)	In its Continue	
[] a. Key structure/individually may qualify for the Nationa [] b. Contributing structure (Ames Compatible)	i Register (Ames Contributing)	
[] c. Not eligible/intrusion (Ames Non-Contributing)		
TT ' 1 '11' 11	and a suppose of the control b	iaa
This building calls attention to the growth and furth district into 5th Street during the 1940s and the 1930s.	SOs an indication of a strong lov	usiness
economy in Ames. The 500 block of 5th Street rer	nained zoned residential until fo	llowing
World War II. Ames newspapers indicate that this	area was subject to intense publ	ic debate
at this time to up-zone 5th west of Clark for comm	ercial purposes. Although 500:	5th Street
is not evaluated at this time because it post-dates th	ne arbitrary 50-year cut-off perio	d, this
is not evaluated at this time because it post-dates the building should be reevaluated when its age reached	ne arbitrary 50-year cut-off period	d, this
building should be reevaluated when its age reache	ne arbitrary 50-year cut-off periods this mark.	d, this
	ne arbitrary 50-year cut-off periods this mark.	d, this
building should be reevaluated when its age reache	ne arbitrary 50-year cut-off periods this mark.	d, this
building should be reevaluated when its age reached 22. Sources (for primary and secondary sources, give complete	ne arbitrary 50-year cut-off periods this mark. e facts of publication: author, title, pl	d, this ace of publication, date, e
building should be reevaluated when its age reached 22. Sources (for primary and secondary sources, give complete Prepared by William C. Page, Public Historian	ne arbitrary 50-year cut-off periods this mark. e facts of publication: author, title, pl	d, this face of publication, date, e
building should be reevaluated when its age reached 22. Sources (for primary and secondary sources, give complete Prepared by William C. Page, Public Historian Address 104 Southwest Fourth Street Des Moines, I.	ne arbitrary 50-year cut-off periods this mark. e facts of publication: author, title, pl	d, this ace of publication, date, e
building should be reevaluated when its age reached 22. Sources (for primary and secondary sources, give complete Prepared by William C. Page, Public Historian	ne arbitrary 50-year cut-off periods this mark. e facts of publication: author, title, pl	d, this face of publication, date, e
building should be reevaluated when its age reached 22. Sources (for primary and secondary sources, give complete Prepared by William C. Page, Public Historian Address 104 Southwest Fourth Street Des Moines, I. Organization The Dunbar/Jones Partnership	Date Date Date Description Description	d, this face of publication, date, e
building should be reevaluated when its age reached 22. Sources (for primary and secondary sources, give complete Prepared by William C. Page, Public Historian Address 104 Southwest Fourth Street Des Moines, I.	Date Date Date Description Description	d, this face of publication, date, e
building should be reevaluated when its age reached 22. Sources (for primary and secondary sources, give complete Prepared by William C. Page, Public Historian Address 104 Southwest Fourth Street Des Moines, I. Organization The Dunbar/Jones Partnership For Office of Historic Preservation Use 1. Office Information Sources on this Property	Date Date Date Description Description	d, this face of publication, date, e
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building should be reevaluated when its age reached 22. Sources (for primary and secondary sources, give complete Prepared by William C. Page, Public Historian Address 104 Southwest Fourth Street Des Moines, I. Organization The Dunbar/Jones Partnership For Office of Historic Preservation Use 1. Office Information Sources on this Property [] County Resource File [] Windshield Survey	Date A 50309 [] Review and Compliance Project [] Other [] Other	d, this face of publication, date, e Fall 1991 515/280-8026
building should be reevaluated when its age reached 22. Sources (for primary and secondary sources, give complete Prepared by	Date A 50309 [] Review and Compliance Project [] Other [] Other [] Other [] Other	d, this face of publication, date, e Fall 1991 515/280-8026
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building should be reevaluated when its age reached 22. Sources (for primary and secondary sources, give complete Prepared by	Date A 50309 [] Review and Compliance Project [] Other [] Other [] Other [] Other	d, this face of publication, date, e Fall 1991 515/280-8026
building should be reevaluated when its age reached 22. Sources (for primary and secondary sources, give complete Prepared by	Date A 50309 [] Review and Compliance Project [] Other	d, this ace of publication, date, e Fall 1991 515/280-8026
building should be reevaluated when its age reached 22. Sources (for primary and secondary sources, give complete Prepared by	Date A 50309 [] Review and Compliance Project [] Other	d, this ace of publication, date, e Fall 1991 515/280-8026
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building should be reevaluated when its age reached 22. Sources (for primary and secondary sources, give complete Prepared by William C. Page. Public Historian Address 104 Southwest Fourth Street Des Moines. I. Organization The Dunbar/Jones Partnership	Date A 50309 [] Review and Compliance Project [] Other	d, this ace of publication, date, e Fall 1991 515/280-8026